

**Final Development Plan
The Carbon Valley Medical Center
FDP Text Sheet**
Town of Firestone
Weld County
State of Colorado
Sheet 1 of 14

3198739 14/07/2004 03:54P Weld County, CO
1 of 14 R 141.00 D 0.00 Steve Moreno Clerk & Recorder

Vicinity Map
Ref. Section 2

Owner Information
Tri-Town Medical Campus, LLC
1950 Mountain View Avenue
Longmont, CO 80501
303.651.5024

Technical Consultants
Architect
Boulder Associates
4747 Table Mesa Drive, Suite 202
Boulder, CO 80305
303.499.7795

Civil Engineer
Stantec Consulting
2135 South Cherry Street, Suite 310
Denver, CO 80222
303.758.4058

Structural Engineer
JVA Consulting Engineers
1319 Spruce Street
Boulder, CO 80302
303.444.1951

Mechanical/Electrical Engineer
The Boulder Engineering Company
2430 Broadway, Suite 301
Boulder, CO 80304
303.444.6038

Landscape Architect
Insite Design
1740 Platte Street
Denver, CO 80202
303.433.7100

Legal Description
A part of the North half of Section 7, T2N, R67W of the 6th Principal Meridian, Town of Firestone, County of Weld, State of Colorado, more particularly described as follows: Parcel 3 of the Dolloghan P.U.D. Phase III Minor Plat recorded at the office of the Weld County Clerk and Recorder at Reception No. 2814707 on December 21, 2000.

Project Concept
The development of the site is planned to include construction of a medical office building with phased construction starting in the southwest corner of the site. The remainder of the site is intended be developed to meet the needs of the city's comprehensive plan with a mix of Employment Center Land uses on the southeast side of property and Neighborhood Center retail to the north along Firestone Boulevard (C.R. 24). Such an additional area is not a part of this FDP.

Land Use Table (43,560 s.f. = 1 Acre)

Description	Area	% of Area
Total FDP Area	9.1 Acres	100
Building	22,433 s.f.	5.6
Perimeter Landscape	272,892 s.f.	69.0
Parking Lot Islands	2,639 s.f.	0.6
Building Edge Landscape	38,956 s.f.	9.8
Parking/Driveway	59,476 s.f.	15.0

NOTE: Area of land is taking into consideration future expansion.

Residential Densities
There will be no residential uses in this FDP.

Private Maintenance and Enforcement
The FDP area will be maintained by the Owner.

Parks, Trails and Open Space
Open space areas are provided outside the building and future connections will be integrated with other portions of the development. A 4-FOOT WIDE SIDEWALK SHALL BE CONSTRUCTED ALONG ECHO STREET.

Controls
No covenants are established on this FDP as the building is owned by one entity.

Drainage
The site has been graded so that developed runoff will flow in two different directions. In general, stormwater runoff is conveyed along curb, gutter and pavement in the parking lot areas. Some runoff will be conveyed to the southwest corner of the site where there is an existing storm sewer system. These flows will be released undetained to the Sagebrush Subdivision development. Detention is provided within the Sagebrush development. The remainder of the site will flow north toward Firestone Boulevard. Flows will collect at the edge of the parking lot pavement and travel in a graded swale to the north. Existing storm sewer at the intersection of Echo Street and Firestone Boulevard will convey runoff to the west. On-site detention may be required for the portion of the site flowing to Firestone Boulevard.

Utilities
In general, initial utility access will be from Echo Street. There are three proposed watermain tees from Echo Street (at the three proposed driveway entrances) which will provide a proposed looping system within the Carbon Valley Medical Center development. At this time a waterline loop for the Phase I improvements is not shown however, as further discussions are needed with the Fire Department. Initial sanitary sewer will also be provided from Echo Street. The current design will run sanitary sewer along the parking area/drive aisle in the back of the proposed building. The sanitary sewer tee will be located at the south entrance off Echo Street. Utility connections for future phases of development will either extend or make new connections to the utilities that are along the site.

Parking
Total Parking Spaces: 115
Area of Parking and Driveways: 59,476
Landscape areas (buffer zones, setback area, and parking islands): 9,136
Landscape to parking: 15.3%
NOTE: Handicapped parking will meet the requirements set by the ADA.
NOTE: All directional and informational signage are permitted consistent with the requirements of the Town Code.

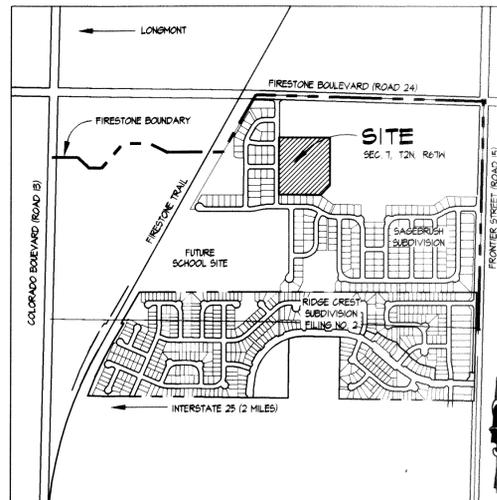
Architecture
The Carbon Valley Medical Center will use regional Architecture in order to create a harmonious balance with the surrounding neighborhood. Constructed of concrete, the exterior of the building will use textured paints that are earth toned. Gable roof forms and metal awnings will be used to create familiar shapes and cast shadows on what otherwise would be a cold office building. Unsightly structures such as the transformer and trash enclosure will be concealed against the building and housed in structures similar to the building respectively. Through simplicity and warmth, the Carbon Valley Medical Center will blend into the landscape rather than dominate it. DIRECTIONAL AND INFORMATIONAL SIGNS ARE PERMITTED CONSISTENT WITH THE REQUIREMENTS OF THE TOWN CODE.

Landscape
Near the building and toward the public streets will be a well maintained lawn with a variety of trees, groundcover, and crusherfines. Away from the building will be native grasses to cut down on water consumption and transition from the built to native environment.

Setbacks
South: 141'-0" from property line
North: 252'-0" from boundary line
East: 262'-0" from boundary line
West: 116'-1" from property line

Development Schedule
Pending approval, phase I of the Carbon Valley Medical Center would start construct at the end of 2003 with completion of the first 12,000 s.f. sometime in the summer of 2004.

Vicinity Map



Approval Block
Approved by the Town board of Trustees of the Town of Firestone, Colorado this 13th day of November, 2003; by Resolution No. 03-36.

Mayor
Mayor



Town Clerk
ATTEST: Town Clerk

Acceptance Block and Notary
By signing this FDP, the owner acknowledges and accepts all of the requirements and intent set forth herein.

Jack B. Campbell
OWNER



STATE OF COLORADO)
)SS
COUNTY OF WELD)

The foregoing instrument was acknowledged before me this 24 day of March, 2004, by Jack B. Campbell
Witness my hand and official seal.

Lori L. Spahr
Notary Public

03-09-2005
My commission expires

General Note:

All recommendations made in the Geotechnical Engineering Study for the Carbon Valley Medical Center by Kumar & Associates should be followed. A copy of the report is part of the project manual.

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIRST
SHEET TITLE	FDP TEXT SHEET
PREPARATION	17 JULY 2003
REVISION DATE	13 OCTOBER 2003
REVISION DATE	13 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 1 OF 14	

PROJECT NUMBER
03905.00

DRAWN BY
D. GARST

DATE
13 OCTOBER, 2003

REVISIONS

BOULDER ASSOCIATES

4747 Table Mesa Drive Suite 202
Boulder, CO 80305
(303) 499-7795 Facsimile (303) 499-7767

Carbon Valley
Medical Center

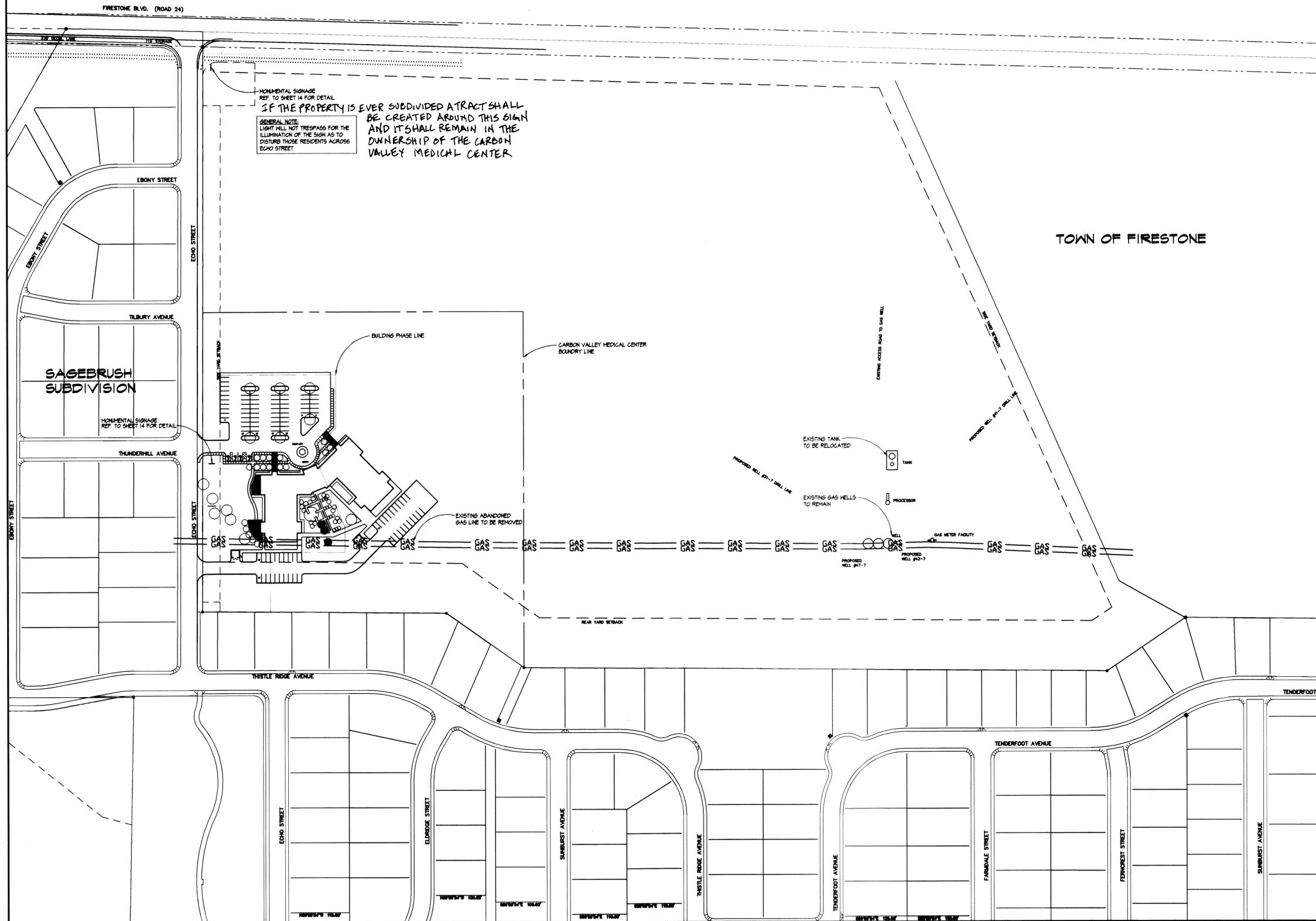
SHEET TITLE
FDP TEXT SHEET

SHEET NUMBER
1 OF 14

Final Development Plan
The Carbon Valley Medical Center
Overall FDP Site Plan
Town of Firestone
Weld County
State of Colorado
Sheet 2 of 14

3158738 04/07/2004 03:54P Weld County, CO
2 of 14 R 141.00 D 0.00 Steve Moreno Clerk & Recorder

STREAR FARMS CO.



MONUMENTAL SIGNAGE
REF. TO SHEET 14 FOR DETAIL
IF THE PROPERTY IS EVER SUBDIVIDED A TRACT SHALL
BE CREATED AROUND THIS SIGN
AND IT SHALL REMAIN IN THE
OWNERSHIP OF THE CARBON
VALLEY MEDICAL CENTER
GENERAL NOTE
LIGHT WILL NOT TRESPASS FOR THE
ILLUMINATION OF THE SIGN AS TO
DISTURB THOSE RESIDENTS ACROSS
ECHO STREET

PROPERTY DESCRIPTION
A PORTION OF PARCEL 3, DOLLAGHAN P.U.D. PHASE III, AS DESCRIBED UNDER RECEPTION NUMBER 2814707 OF THE WELD COUNTY RECORDS, AND LOCATED IN THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

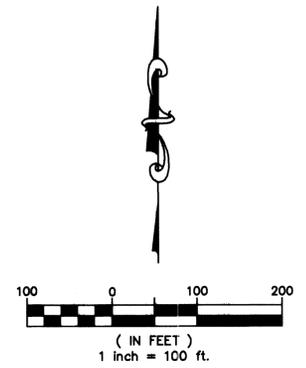
BASIS OF BEARINGS: THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 2 NORTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEARS S 88°24'51" E ACCORDING TO THE FINAL PLAT OF SAGEBRUSH, AS DESCRIBED UNDER RECEPTION NUMBER 3040919 OF THE WELD COUNTY RECORDS;

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 7;
THENCE S 88°24'51" E, ALONG THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 7, A DISTANCE OF 232.42 FEET;
THENCE S 00°10'27" W, ALONG THE EASTERLY BOUNDARY OF SAID SAGEBRUSH AND ALONG THE WESTERLY BOUNDARY OF SAID PARCEL 3, A DISTANCE OF 562.30 FEET TO THE POINT OF BEGINNING;

THENCE S 89°30'19" E, A DISTANCE OF 646.17 FEET;
THENCE S 00°10'27" W, A DISTANCE OF 707.86 FEET TO AN ANGLE POINT ON THE NORTHERLY BOUNDARY OF SAID SAGEBRUSH AND ON THE SOUTHERLY BOUNDARY OF SAID PARCEL 3;
THENCE ALONG THE NORTHERLY AND EASTERLY BOUNDARIES OF SAID SAGEBRUSH AND ALONG THE SOUTHERLY AND WESTERLY BOUNDARIES OF SAID PARCEL 3 THE FOLLOWING THREE (3) COURSES:

1. N 54°59'18" W, A DISTANCE OF 190.34 FEET;
2. N 89°30'19" W, A DISTANCE OF 489.94 FEET;
3. N 00°10'27" E, A DISTANCE OF 600.01 FEET TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 396,124 SQUARE FEET OR 9.094 ACRES, MORE OR LESS.



FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILE NUMBER	
PHASE NUMBER	FIRST
SHEET TITLE	OVERALL FDP SITE PLAN
PREPARATION	17 JULY 2005
REVISION DATE	15 OCTOBER 2005
REVISION DATE	15 NOVEMBER 2005
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 2 OF 14	

PROJECT NUMBER
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DRAWN BY
D. GARST
DATE
13 OCTOBER, 2003

REVISIONS

BOULDER ASSOCIATES

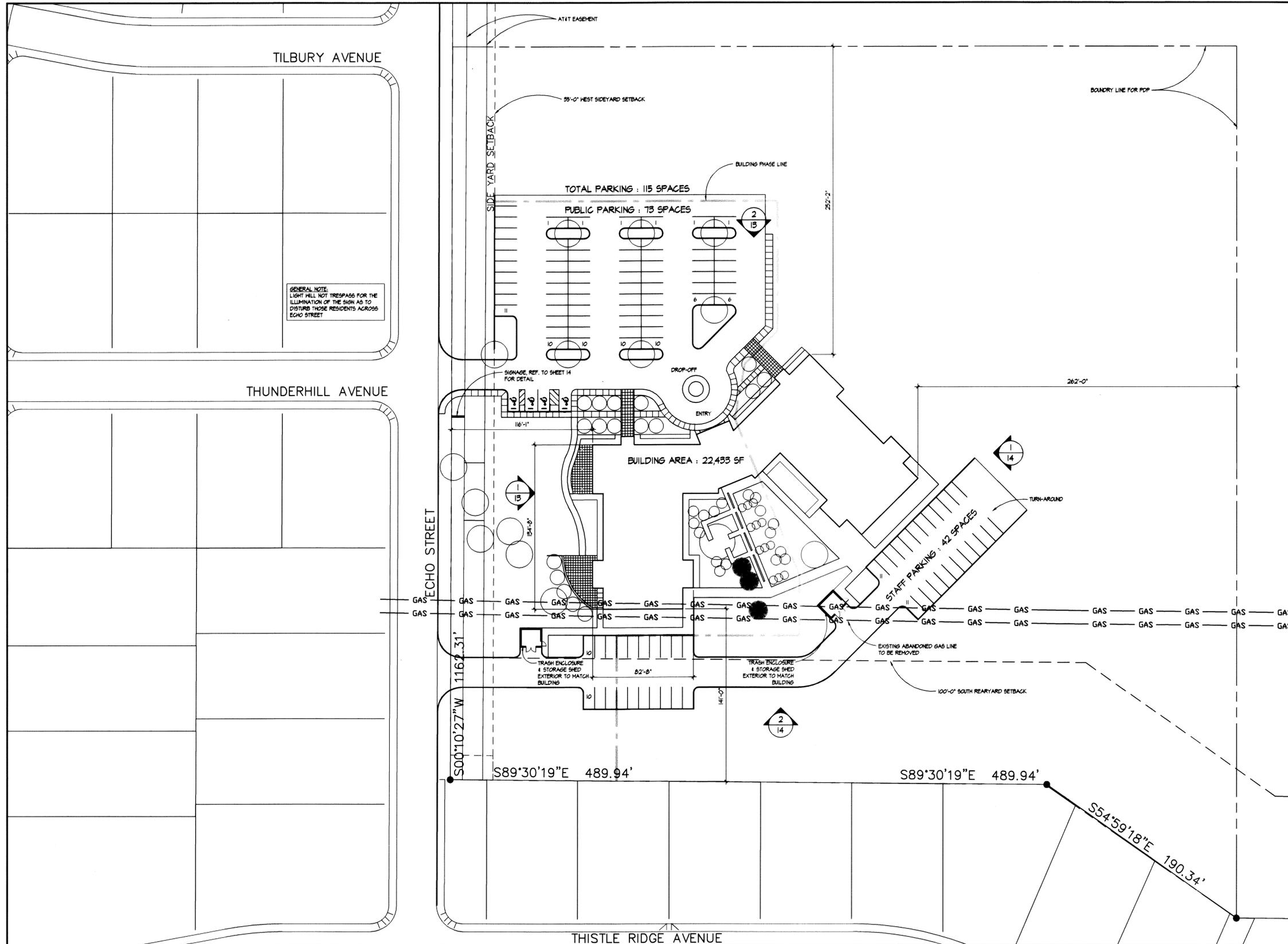
4747 Table Mesa Drive Suite 202
Boulder, CO 80305
(303) 499-7795 Facsimile (303) 499-7767

Carbon Valley
Medical Center

SHEET TITLE
OVERALL FDP
SITE PLAN
SHEET NUMBER
2 OF 14

**Final Development Plan
The Carbon Valley Medical Center
FDP Site Plan
Town of Firestone
Weld County
State of Colorado
Sheet 3 of 14**

3166739 04/17/2004 03:54P Weld County, CO
3 of 14 R 141.00 D 0.00 Steve Moreno Clerk & Recorder



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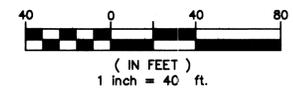
13 OCTOBER, 2003

REVISIONS

BOULDER ASSOCIATES

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Carbon Valley
Medical Center



FIRESTONE INFORMATION BLOCK

NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
PHASE NUMBER	FIRST
SHEET TITLE	FDP SITE PLAN
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SHEET TITLE

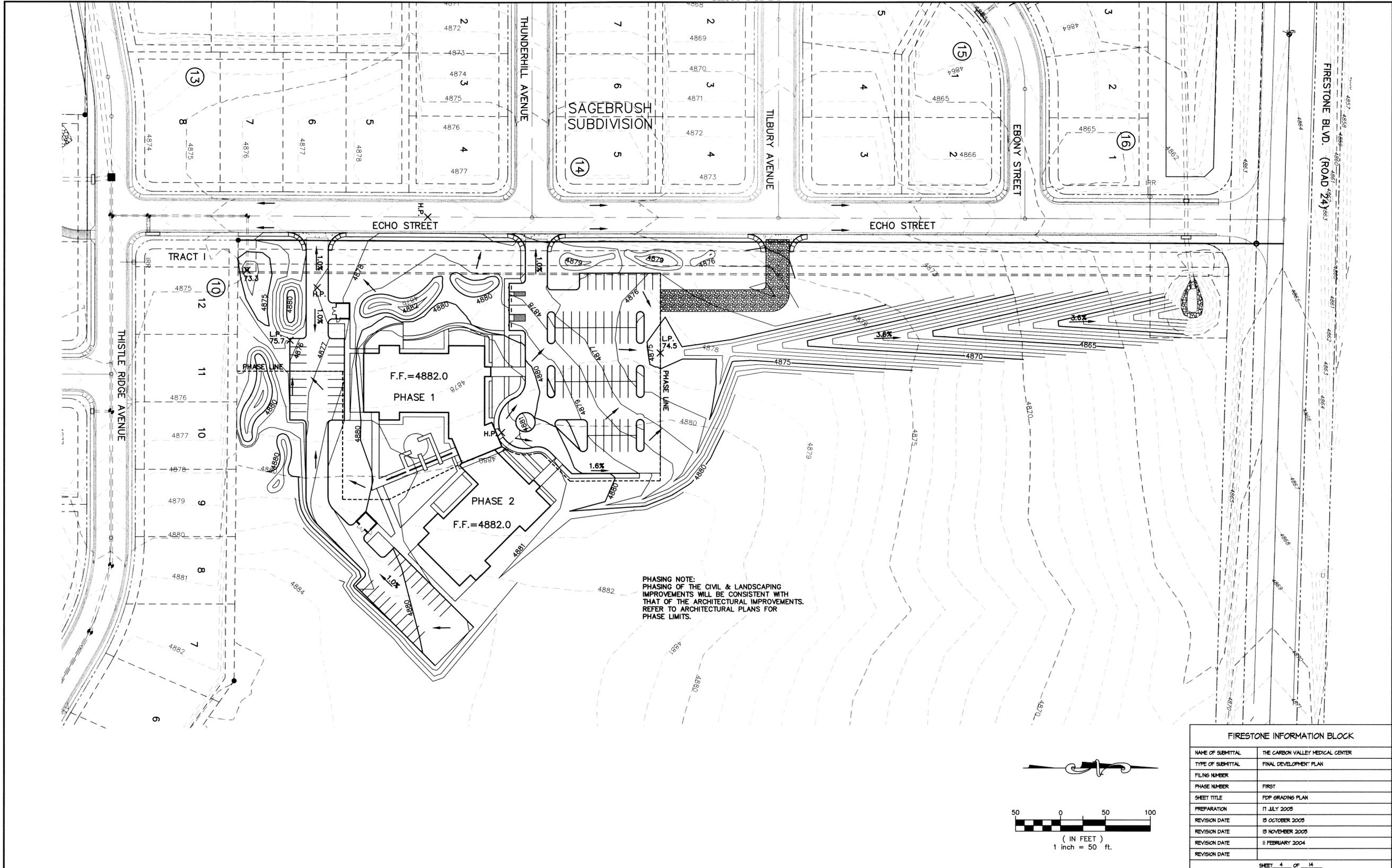
**DETAILED FDP
SITE PLAN**

SHEET NUMBER

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**Final Development Plan
The Carbon Valley Medical Center
FDP GRADING PLAN**
Town of Firestone
Weld County
State of Colorado
Sheet 4 of 14

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4 of 14 R 141.00 D 0.00 Steve Moreno Clerk & Recorder



PHASING NOTE:
PHASING OF THE CIVIL & LANDSCAPING
IMPROVEMENTS WILL BE CONSISTENT WITH
THAT OF THE ARCHITECTURAL IMPROVEMENTS.
REFER TO ARCHITECTURAL PLANS FOR
PHASE LIMITS.

PROJECT NUMBER
03905.00

DRAWN BY
D. GARST

DATE
19 OCTOBER, 2003

REVISIONS

BOULDER ASSOCIATES

4747 Table Mesa Drive Suite 202
Boulder, CO 80505
(303) 499-7795 Facsimile (303) 499-7767

**Carbon Valley
Medical Center**

FIRESTONE INFORMATION BLOCK

NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIRST
SHEET TITLE	FDP GRADING PLAN
PREPARATION	17 JULY 2003
REVISION DATE	19 OCTOBER 2003
REVISION DATE	19 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	

SHEET TITLE
FDP GRADING PLAN

SHEET NUMBER
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Final Development Plan

Carbon Valley Medical Campus

Phase or Filing No.

Town of Firestone

Weld County

State of Colorado

Sheet 5 of 14

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PLANTING PALETTE

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
DECIDUOUS TREES: 34 TOTAL					
BOK	11	Bur Oak	Quercus macrocarpa	2 1/2' cal.	B&B
GRT	2	Golden Raintree	Koeleruteria paniculata	2 1/2' cal.	B&B
SMH	8	Shademaster Honeylocust	Gleditsia triacanthos inermis 'Shademaster'	2 1/2' cal.	B&B
WHB	14	Western Hackberry	Celtis occidentalis	2 1/2' cal.	B&B
EVERGREEN TREES: 27 TOTAL					
PP	24	Ponderosa Pine	Pinus ponderosa	6' ht. min.	B&B
SP	8	Scotch Pine	Pinus sylvestris	6' ht. min.	B&B
ORNAMENTAL TREES: 29 TOTAL					
CHP	9	Chanticleer Pear	Pyrus calleryana	1 1/2' cal.	B&B
WAH	16	Washington Hawthorn	Crataegus phaenopynum	1 1/2' cal.	B&B
EVERGREEN SHRUBS: 78 TOTAL					
CMM	78	Curl Leaf Mountain Mahogany	Cercocarpus ledifolius intricatus	5 gal.	spacing, re. detail sht.
MP	5	Miniature Mugo Pine	Pinus mugo 'Mops'	5 gal.	spacing, re. detail sht.
DECIDUOUS SHRUBS: 194 TOTAL					
AMC	2	Autumn Magic Chokeberry	Aronia melanocarpa 'Autumn Magic'	5 gal.	spacing, re. detail sht.
DNB	214	Dwarf Ninebark	Physocarpus opulifolius 'Nana'	5 gal.	spacing, re. detail sht.
GOC	32	Golden Currant	Ribes aureum	5 gal.	spacing, re. detail sht.
ORNAMENTAL GRASSES: 219 TOTAL					
BBS	76	Big Blue Stem	Andropogon gerardii	5 gal.	spacing, re. detail sht.
BFS	38	Blue Fescue	Festuca glauca 'Elijah Blue'	5 gal.	spacing, re. detail sht.
LBS	72	Little Bluestem	Schizachyrium scoparium	5 gal.	spacing, re. detail sht.
IMG	92	Mexican Feather Grass	Stipa tenuissima	5 gal.	spacing, re. detail sht.
ORG	19	Oriental Fountain Grass	Pennisetum orientale	5 gal.	spacing, re. detail sht.
PERENNIAL FLOWERS & GROUNDCOVER: 654 TOTAL					
IBW	26	Butterfly Weed	Aesclepias tuberosa	1 gal.	spacing, re. detail sht.
CB	178	Cranesbill	Geranium sanguineum	1 gal.	spacing, re. detail sht.
CF	47	Chocolate Flower	Berlandiera lyrata	1 gal.	spacing, re. detail sht.
CP	250	Creeping Penstemon	Penstemon caespitosus	1 gal.	spacing, re. detail sht.
RS	23	Russian Sage	Perovskia atriplicifolia	1 gal.	spacing, re. detail sht.
SB	59	Sulfur Buckwheat	Eriogonum umbellatum	1 gal.	spacing, re. detail sht.
SH	25	Sunset Hyssop	Agastache rupestris	1 gal.	spacing, re. detail sht.
TS	91	Coral Canyon Twinspur	Diascia integerrima 'Coral Canyon'	1 gal.	spacing, re. detail sht.

TURF & SEED RATIO CHART

COLORADO TURF DROUGHT TOLERANCE KENTUCKY BLUEGRASS (KKG) MIX

25% KKG, LIMOSINE	FRESH CUT SOD
25% KKG, BRILLIANT	
25% KKG, MOONLIGHT	
15% KKG, RUGBY II	
10% KKG, RUGBY I	

IRRIGATED NATIVE SEED	PERCENT OF TOTAL	DRILL SEEDED PLS PER ACRE
EPHRAIN CRESTED WHEATGRASS	30%	6.6
DWARF PERENNIAL RYEGRASS	25%	5.5
SR3200 BLUE FESCUE	20%	4.4
REUBENS CANADA BLUEGRASS	15%	3.3
CHEWINGS FESCUE	10%	2.2
	100%	TOTAL 22.0

STATEMENT OF INTENT

THE GENERAL INTENT OF THE LANDSCAPE DESIGN FOR THIS PROJECT IS TO ENHANCE THE QUALITY OF THE DEVELOPMENT FOR THE LOCAL AREA AND WITHIN THE SITE. LANDSCAPE IMPROVEMENTS ARE INTEGRATED THROUGHOUT THE SITE PROVIDING BOTH VISUAL AND FUNCTIONAL QUALITIES. LANDSCAPE IMPROVEMENTS ALONG ECHO STREET AND AT THE PERIMETER OF THE SITE PROVIDE GENTLE BERMING, TREES, EVERGREENS AND NATIVE GRASSES TO BUFFER THE DEVELOPMENT AND HELP SET THE THEME FOR FUTURE DEVELOPMENTS. IMPROVEMENTS INCLUDING PATHWAYS, OUTDOOR PATIOS AND GARDENS AROUND THE MEDICAL CENTER PROVIDE COMFORTABLE PLACES FOR VISITORS, PATIENTS AND STAFF. PLANTING ASSOCIATED WITH THESE PEOPLE ORIENTED PLACES WILL INCLUDE COLORFUL PERENNIALS, ORNAMENTAL GRASSES, FLOWERING TREES AND SHRUBS. THE USE OF NATIVE OR REGIONALLY ADAPTIVE SPECIES OF PLANTS IS MAXIMIZED. ALL LANDSCAPE AREAS ARE TO BE EFFICIENTLY AND APPROPRIATELY IRRIGATED. ALL LANDSCAPING SHALL BE MAINTAINED AND REPLACED BY THE PROPERTY OWNER AS NECESSARY.

PHASING OF LANDSCAPE WILL BE CONSISTENT WITH THAT OF THE ARCHITECTURE. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF PHASING LINE. ALL LANDSCAPE AREAS DISTURBED BETWEEN PHASES WILL BE FULLY RE-ESTABLISHED.

SHEET INDEX

SHT #	TITLE
5 of 14	LANDSCAPE COVER SHEET
6 of 14	LANDSCAPE PLAN
7 of 14	LANDSCAPE PLANTING DETAILS
8 of 14	HARDSCAPE DETAILS

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONCURRENT WORK BY OTHER TRADES. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK.
- EXISTING BUILDINGS, GRADING, EASEMENTS AND UTILITIES ARE BASED ON SURVEY INFORMATION PROVIDED BY THE CIVIL ENGINEER.
- VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING WORK.
- THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS MAINS AND ELECTRICAL LINES. CONTRACTOR IS TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, ABOVE AND BELOW GRADE, PRIOR TO EXCAVATION OR TRENCHING. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- LAYOUT OF ALL SITE FURNISHINGS, INCLUDING BENCHES, TRASH RECEPTACLES, AND BICYCLE RACKS IS TO BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. WHERE CONCRETE FOOTINGS ARE REQUIRED FOR FURNITURE, THEY ARE TO BE STAKED AND VERIFIED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLING ADJACENT PAVEMENT OR FINISHES.
- A SYSTEM OF DIAGRAMMATIC SYMBOLS AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATION CAREFULLY AND NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL SYMBOLS ARE SHOWN DIAGRAMMATIC ALLY ILLUSTRATING APPROXIMATE LOCATION OF EXISTING AND PROPOSED MATERIALS. ANY DISCREPANCIES OR CONFLICTS BETWEEN EXISTING AND PROPOSED CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- LIMIT OF WORK LINE FOR CONSTRUCTION IS SHOWN DIAGRAMMATICALLY AND OCCURS AT BACK OF CURB, EDGE OF ROAD, FACE OF BUILDING WALL OR PROPERTY LINE EXCEPT WHERE OTHERWISE NOTED. WHERE LIMIT OF WORK IS SHOWN IN LANDSCAPE AREAS, LIMIT DISTURBANCE TO UNDISTURBED AREAS AND REINSTATE LANDSCAPE AS SHOWN ON PLANS.
- ALL LAYOUT DIMENSIONS ARE TO BACK OF CURB, (BOC), FACE OF WALL, (FOW) OR FACE OF BUILDING(FOB) UNLESS OTHERWISE NOTED.
- ALL LAYOUT DIMENSIONS ARE FROM PLAN VIEW CALCULATIONS. ACTUAL FIELD DIMENSIONS MAY VARY FROM PLAN DUE TO ACTUAL LENGTHS ALONG A SLOPED SURFACE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- DIMENSIONS MARKED "VERIFY" ARE TO BE FIELD MEASURED. ANY FIELD DISCREPANCIES FROM THE NOTED DIMENSIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO FURTHER WORK.
- SPECIAL CONSIDERATION HAS BEEN GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN LANDSCAPE MATERIALS, FINISHES AND LAYOUT IN RELATIONSHIP TO THE ARCHITECTURE AND/OR STREET, CURB & GUTTER AND SIDEWALK SYSTEMS. PAVEMENT JOINTING, FINISHES, COLOR AND GRADES HAVE BEEN STRICTLY COORDINATED. CONSTRUCTION OF THESE SYSTEMS SHALL ALSO BE STRICTLY COORDINATED.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION PERTAINING TO THE PROJECT MATERIALS, PROCEDURES AND INSTALLATION. WORK INSTALLED NOT IN COMPLIANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE. ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
- CONTOUR LINES ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR ACTUAL GRADING AND DRAINAGE INFORMATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMPLETION OF ROUGH GRADING WORK.
- ARCHITECTURAL ELEMENTS ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL ARCHITECTURAL INFORMATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- COORDINATE PROPOSED WALKS AND RAMPS WITH ANY EXISTING CONDITIONS INCLUDING PUBLIC SIDEWALKS. STAKE PROPOSED WALKS AND REVIEW IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO FORMING.
- NOTHING IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE LANDSCAPE ARCHITECT AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
- THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR FOR SAFETY PRECAUTIONS OR PROBLEMS UTILIZED IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

PLANTING NOTES

- REFER TO IRRIGATION DRAWINGS FOR GENERAL NOTES REGARDING IRRIGATION SYSTEM CONSTRUCTION.
- FIELD STAKE ALL TREE AND SHRUB LOCATIONS BASED UPON THESE PLANS. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF STAKED LOCATIONS PRIOR TO PLANTING.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH TREE TO BE INSTALLED.
- PLANT MATERIAL TO BE HEALTHY SPECIMENS, FREE FROM DISEASE OR DAMAGE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMAN.
- ALL ROOT WRAPPING MADE OF SYNTHETIC OR PLASTIC MATERIAL SHALL BE REMOVED AT TIME OF PLANTING.
- ALL PLANT MATERIAL SHALL BE SELECTED AT THE NURSERIES BY THE PROJECT LANDSCAPE ARCHITECT. PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
- ALL PLANT AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR BY REVIEWING PLANTING PLAN SYMBOLS AND PLANT SPACING.
- ALL DECIDUOUS TREES SHALL BE WRAPPED. REFER TO SPECIFICATIONS FOR WRAP TYPE AND TIMING.
- PLANT AND EDGING LAYOUT SHALL TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. INSTALLED VALVE BOXES WHICH CONFLICT WITH ACCEPTED PLANT AND EDGING LAYOUT SHALL BE MOVED TO A LOCATION BETWEEN PLANTS AS DIRECTED BY ARCHITECT AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL PLANT MATERIALS INCLUDING SOD/SEED AREAS IN A HEALTHY STATE DURING CONSTRUCTION. ANY DAMAGE TO PLANT MATERIAL DUE TO NEGLIGENCE BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. REFER TO SPECIFICATION 02330.
- PROJECT INCLUDES EXTENSIVE IRRIGATION AND UTILITY SYSTEMS, MANY OF WHICH ARE CLOSE TO THE FINISHED SURFACE. VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO PLANTING. ANY CONFLICTS SHALL BE RESOLVED IN THE FIELD BY THE ARCHITECT.
- ALL SHRUB AREAS ARE TO BE PREPARED AS CONTINUOUS BEDS.
- PERFORM PERCOLATION TEST ON ALL TREE HOLES AND PLANTING BEDS PRIOR TO PLANTING. INFORM LANDSCAPE ARCHITECT OF RESULTS. REFER TO CONTRACT SPECIFICATIONS FOR FURTHER INFORMATION.
- REFER TO LAYOUT DRAWINGS FOR STEEL EDGER LAYOUT. STAKE AND REVIEW LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NATIVE SEED AREAS ARE TO BE MAINTAINED TO CONTROL WEED GROWTH AND THE INVASION OF NOXIOUS WEEDS AS DEFINED BY THE STATE OF COLORADO DEPARTMENT OF AGRICULTURE. MOWING AND OTHER MAINTENANCE SCHEDULES ARE TO BE RECOMMENDED BY THE SEED SUPPLIER AND AGREED WITH THE TOWN OF FIRESTONE.

GRADING NOTES

- MAXIMUM SLOPE 3:1, MINIMUM SLOPE 2% IN LANDSCAPE AREAS UNLESS OTHERWISE NOTED.
- FINAL GRADING TO BE FIELD REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO SEEDING OR PLANTING.
- PROVIDE SMOOTH, CONTINUOUS TRANSITIONS BETWEEN SLOPES UNLESS OTHERWISE NOTED OR INDICATED IN THE DRAWINGS.
- PROVIDE 2% CROSS SLOPE ON ALL CONCRETE WALKS UNLESS OTHERWISE NOTED.
- ALL FINISHED GRADES ARE TO MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT OF WORK.

IRRIGATION AREAS

PHASE	TYPE	AREA (SF)
PHASE ONE	NATIVE SEED AREAS:	52,187.5 SF
	SOD AREAS:	16,987.5 SF
	SHRUB, GROUNDCOVER, PERENNIALS:	3,534 SF
PHASE TWO	NATIVE SEED AREAS:	17,955 SF
	SOD AREAS:	0 SF
	SHRUB, GROUNDCOVER, PERENNIALS:	1,522.6 SF

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIRST
SHEET TITLE	LANDSCAPE COVER
PREPARATION	11 JULY 2003
REVISION DATE	15 OCTOBER 2003
REVISION DATE	15 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 5 OF 14	

PROJECT NUMBER

03905.00

DRAWN BY

INSITEDESIGN

DATE

OCTOBER 9, 2003

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Carbon Valley Medical Campus

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SHEET TITLE

Landscape Cover

SHEET NUMBER

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Final Development Plan

Carbon Valley Medical Campus

Phase or Filing No.

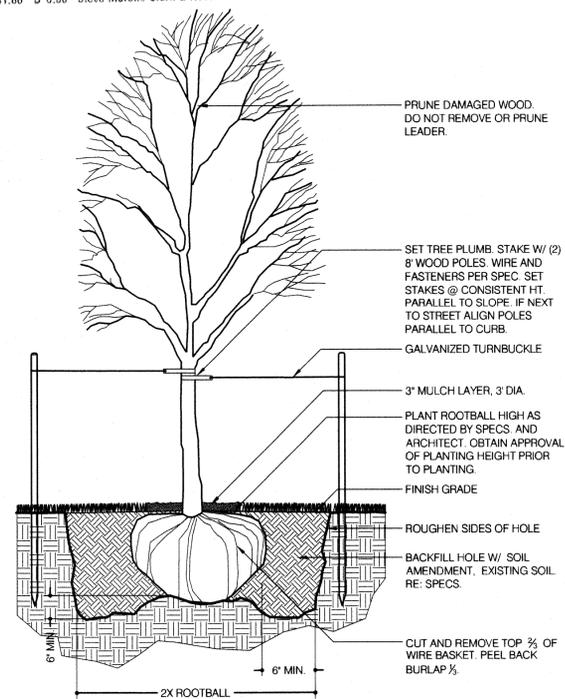
Town of Firestone

Weld County

State of Colorado

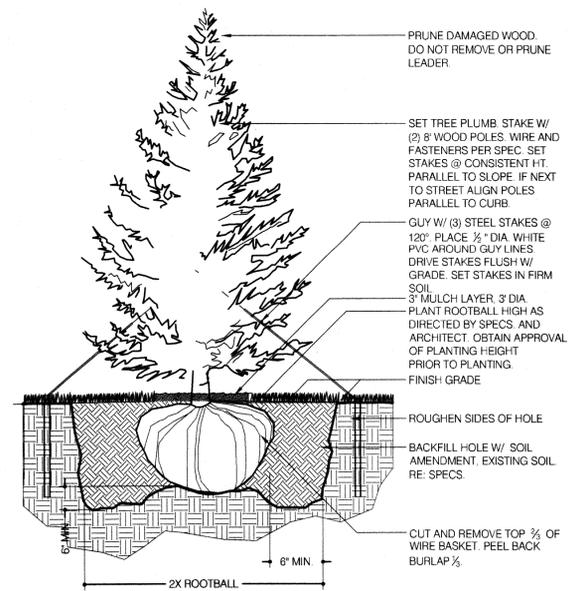
Sheet 7 of 14

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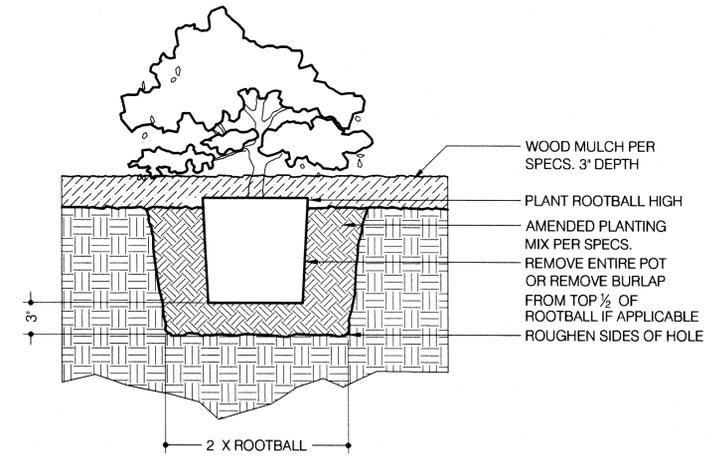
1 Deciduous Tree Planting

SCALE: 3/8" = 1'-0"



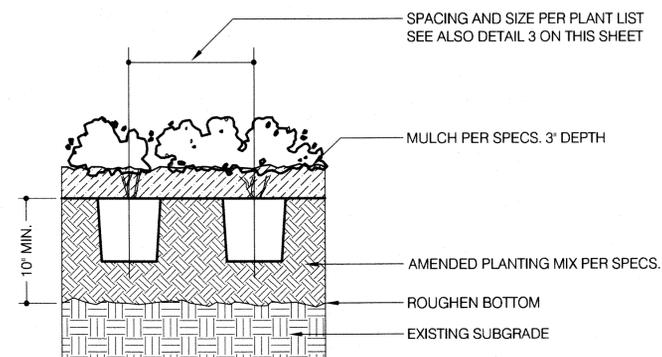
2 Evergreen Tree Planting

SCALE: 3/8" = 1'-0"



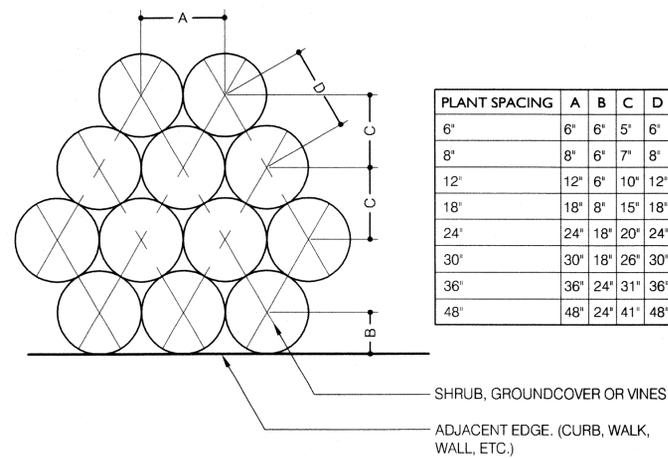
3 Shrub Planting

SCALE: 1 1/2" = 1'-0"



4 Perennial & Groundcover Planting

SCALE: 1 1/2" = 1'-0"



5 Plant Spacing

SCALE: 1" = 1'-0"

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FIRESTONE INFORMATION BLOCK

NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIDEST
SHEET TITLE	PLANTING DETAILS
PREPARATION	17 JULY 2003
REVISION DATE	15 OCTOBER 2003
REVISION DATE	15 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	

SHEET TITLE

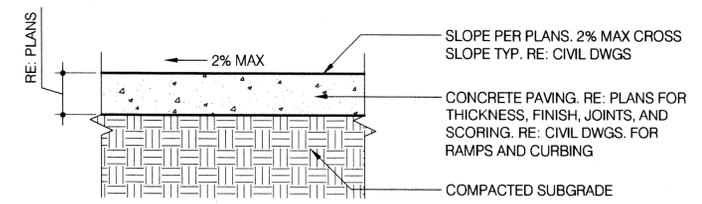
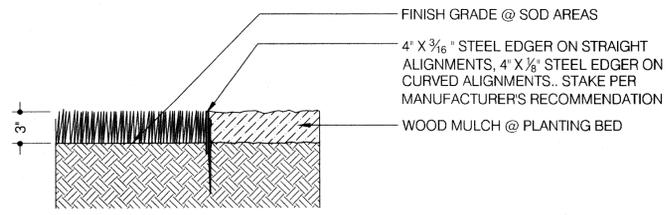
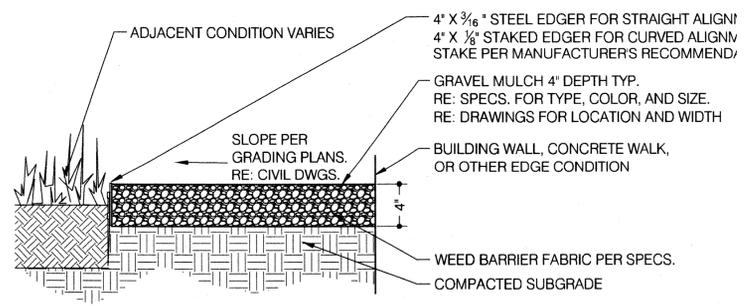
Planting Details

SHEET NUMBER

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Final Development Plan
Carbon Valley Medical Campus
 Phase or Filing No.
 Town of Firestone
 Weld County
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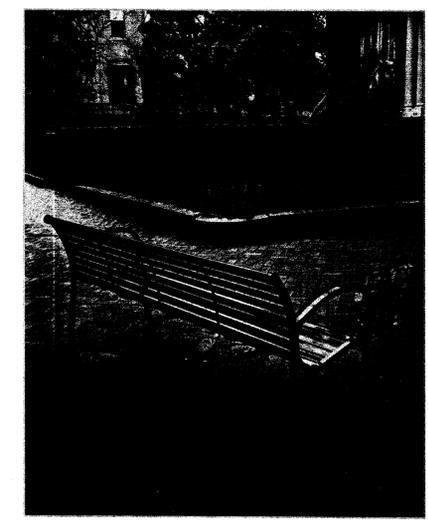
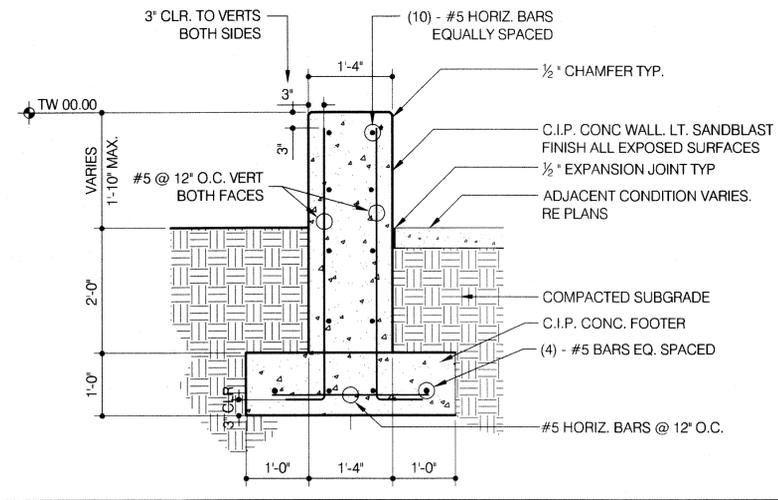
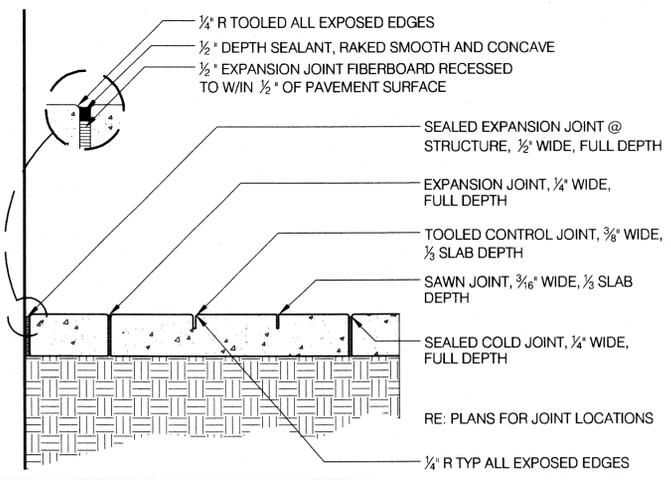
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1 Crusher Fines Paving
 SCALE: 1 1/2" = 1'-0"

2 Steel Edger
 SCALE: 1 1/2" = 1'-0"

3 Concrete Paving
 SCALE: 1 1/2" = 1'-0"



4 Jointing
 SCALE: 1 1/2" = 1'-0"

5 Concrete Seatwall
 SCALE: 1" = 1'-0"

6 6' Metal Bench
 SCALE: 1 1/2" = 1'-0"

PROJECT NUMBER
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 DATE
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REVISIONS

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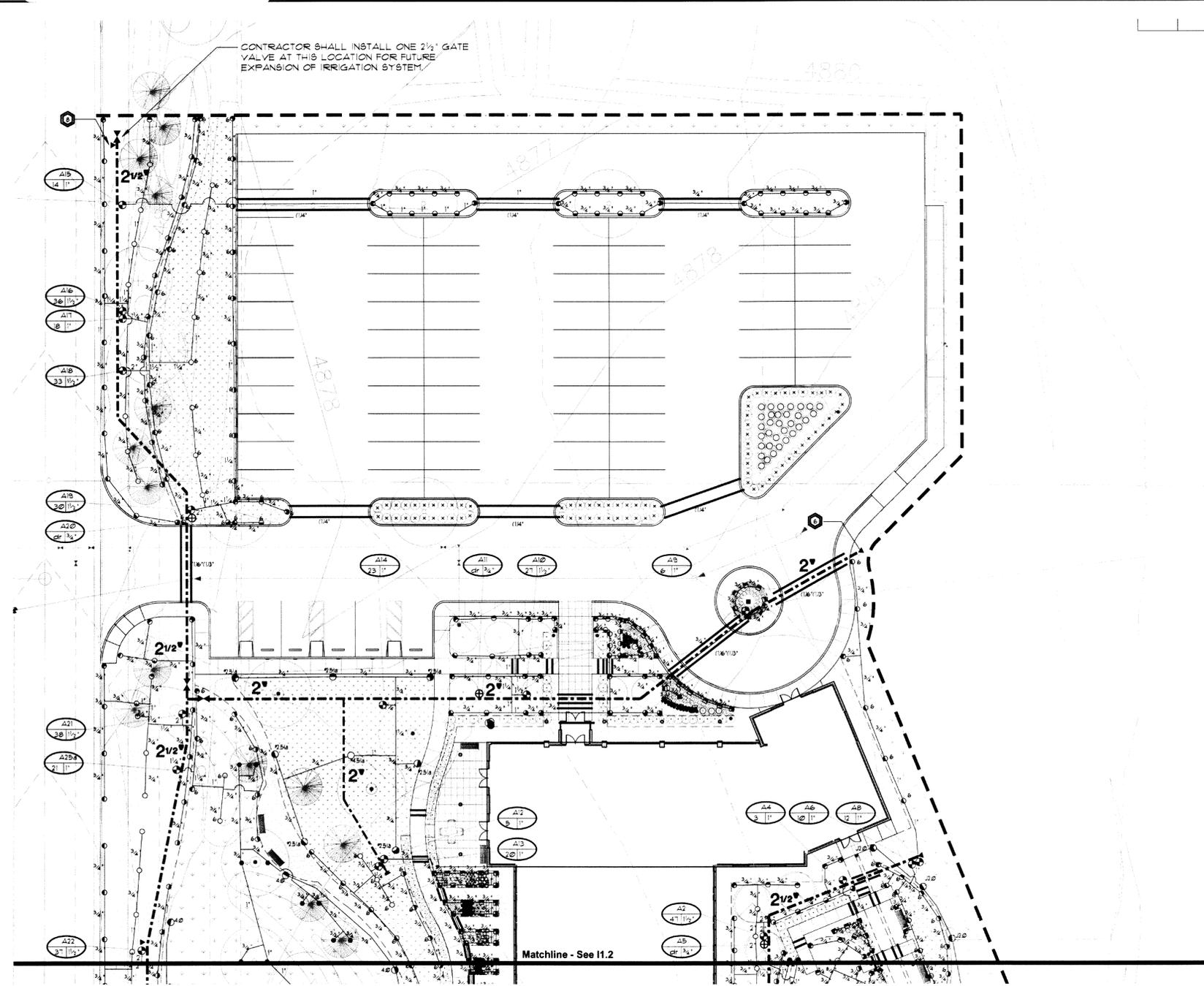
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NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIRST
SHEET TITLE	HARDSCAPE DETAILS
PREPARATION	17 JULY 2003
REVISION DATE	13 OCTOBER 2003
REVISION DATE	15 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	

SHEET TITLE
Hardscape Details

SHEET NUMBER
8 of 14

Final Development Plan
Carbon Valley Medical Campus
 Phase or Filing No.
 Town of Firestone
 Weld County
 State of Colorado
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Irrigation Construction Notes

- DRAWINGS AND BASE INFORMATION** - ALL BASE AND PLANTING INFORMATION HAVE BEEN PROVIDED BY XXX. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY HYDROSYSTEMS-KDI OF ANY DISCREPANCIES BETWEEN THE UTILITY OR PLANTING PLANS AND THE IRRIGATION PLAN. IF CONTRACTOR FAILS TO NOTIFY HYDROSYSTEMS-KDI AND MAKES CHANGES TO THE IRRIGATION SYSTEM DESIGN HE ASSUMES ALL COSTS AND LIABILITIES ASSOCIATED WITH THOSE FIELD CHANGES. REFER TO SPECIFICATIONS FOR ADDITIONAL PROJECT REQUIREMENTS.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN PROPERTY LIMITS AND WITHIN LANDSCAPED AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM EDGE OF ANY PAVED SURFACES. ALL VALVE BOXES SHALL BE PLACED A MINIMUM OF 3'-0" FROM THE CENTERLINE OF ANY DRAINAGE SWALE.
- SYSTEM PRESSURE** - HYDROSYSTEMS-KDI HAS CONTACTED THE LOCAL WATER DISTRICT THAT SERVES THIS SITE AND THEY HAVE BEEN TOLD THAT THE STATIC WATER PRESSURE IN THIS AREA SHOULD BE 75 PSI. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRESSURE PRIOR TO COMMENCING ANY CONSTRUCTION AND NOTIFY HYDROSYSTEMS-KDI OF ANY VARIANCE FROM THE STATED PRESSURE. IF CONTRACTOR FAILS TO FIELD VERIFY PRESSURE AND/OR NOTIFY HYDROSYSTEMS-KDI OR ANY VARIATIONS FROM THIS PRESSURE, THEN HE ASSUMES ALL CONSTRUCTION AND ENGINEERING COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS REQUIRED TO ACCOMMODATE ACTUAL SITE PRESSURE. THIS SYSTEM HAS BEEN DESIGNED FOR A REQUIRED STATIC PRESSURE OF 72 PSI.
- SLEEVING** - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS OR BASED ON THE SCHEDULE BELOW.

SLEEVED PIPE SIZE/WIRE QUANTITY	REQUIRED SLEEVE SIZE AND QUANTITY
3/4" - 1/4" PIPING	2" PVC (1)
1/2" - 2" PIPING	4" PVC (1)
2 1/2" - 3" PIPING	6" PVC (1)
4" PIPING	8" PVC (1)
6" PIPING	10" PVC (1)
8" PIPING	12" PVC (1)
1" - 50 CONTROL WIRES	3" PVC (1)
5" - 20 CONTROL WIRES	3" PVC (2)
- DRIP IRRIGATION** - REFER TO IRRIGATION DETAIL SHEET FOR DRIP EMITTER QUANTITIES AND PLACEMENT.
- POP-UP SPRAY NOZZLES** - CONTRACTOR TO INSTALL PLASTIC NOZZLES ON ALL POP-UP SPRAY HEADS. INSTALL 5 SERIES NOZZLES ON ALL HEADS SPACED AT 15" TO 30". INSTALL 12 SERIES NOZZLES ON ALL HEADS SPACED 1" TO 10". INSTALL 10 SERIES NOZZLES ON ALL HEADS SPACED AT 9" TO 10". INSTALL 8 SERIES NOZZLES ON ALL HEADS SPACED LESS THAN 8". VARIABLE ARC NOZZLES SHOULD BE UTILIZED ADJACENT TO CURVILINEAR SHRUB BEDS OR FOR ANY ANGLES THAT ARE NOT A STANDARD NOZZLE ANGLE.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING NEW INSTALLATION. REPAIR OR REPLACEMENT SHALL BE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE.
- IRRIGATION SYSTEM OPERATION INTENT** - THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO IRRIGATE THE ESTABLISHED LANDSCAPE WITHIN A SIX NIGHT PER WEEK SIX HOUR PER NIGHT WATERING WINDOW. ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A FOUR TO SIX WEEK PERIOD. THE DESIGN IS BASED ON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES ARE BASED ON A 30-YEAR AVERAGE WEATHER DATA AND WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND WEATHER CONDITIONS ABOVE AND BELOW THE AVERAGE VALUES UTILIZED.

BLEEGRASS TURF	1.75" PER WEEK PEAK SEASON
FESCUE TURF	1.50" PER WEEK PEAK SEASON
NATIVE SEED MIXES	1.00" PER WEEK PEAK SEASON (TWO SEASONS)
- SPARE CONTROL WIRES** - CONTRACTOR SHALL EXTEND SPARE WIRES FROM CONTROLLER (4) TO THIS LOCATION. CONTAIN SPARE WIRES IN 10" ROUND VALVE BOX WITH QUICK COUPLING VALVE. (NUMBER OF SPARE WIRES INDICATED ON DRAWINGS).

PROJECT NUMBER
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DATE
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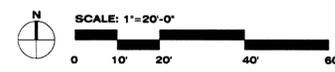
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Carbon Valley
 Medical Campus

KEEP AREAS GREEN IN THE SUMMER



HydroSystems-KDI, Inc. Irrigation Consulting
 300 Union Blvd Suite 405
 Greenwood Village CO 80228
 303-960-5327
 fax 303-960-5364

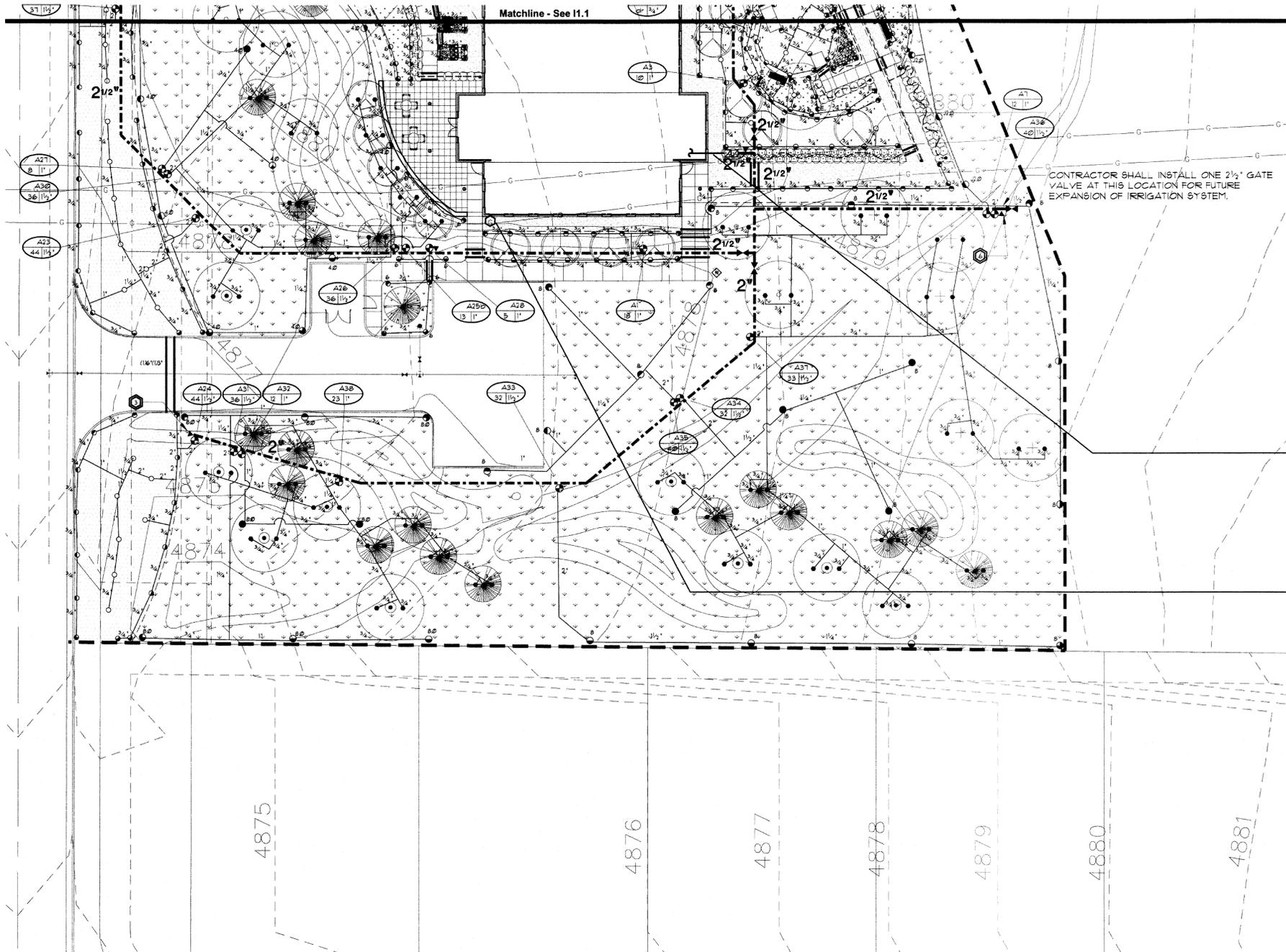
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NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIRST
SHEET TITLE	IRRIGATION PLAN
PREPARATION	17 JULY 2003
REVISION DATE	13 OCTOBER 2003
REVISION DATE	13 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 9 OF 14	

SHEET TITLE
IRRIGATION PLAN

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Final Development Plan
Carbon Valley Medical Campus
 Phase or Filing No.
 Town of Firestone
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Irrigation Schedule				
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
	RAIN BIRD	1804 5AM FR8 W/NOZZ	POP-UP SPRAY HEAD	1
	RAIN BIRD	1806 5AM FR8 W/NOZZ	POP-UP SPRAY HEAD	1
	RAIN BIRD	1806 5AM FR8 W/STRIP NOZZ	POP-UP SPRAY HEAD	1
	RAIN BIRD	1812 5AM FR8 W/NOZZ	HI-POP SPRAY HEAD	2
	RAIN BIRD	1402 SERIES - 5 GPM	BUBBLER	3
	HUNTER	1-20-ADV W/9.5/8 NOZZLE	GEAR DRIVEN ROTOR	4
	HUNTER	1-20-36V W/9.5/8 NOZZLE	GEAR DRIVEN ROTOR	4
	HUNTER	1-20-ADV W/9.5/8 NOZZLE	GEAR DRIVEN ROTOR	4
	HUNTER	FGJ-04 W/9.5/8 NOZZLE	GEAR DRIVEN ROTOR	4
	HUNTER	1-20HP-ADV W/9.5/8 NOZZLE	1" GEAR DRIVEN ROTOR	4
	HUNTER	1-25-ADV W/9.5/8 NOZZLE	GEAR DRIVEN ROTOR	4
	RAIN BIRD	XGZ-075	DRIP VALVE ASSEMBLY	14
	TORO	BLUE-STRIFE	POLY DRIP TUBING	16
		CLASS 200 BE	PVC MAINLINE	10 & 13
		CLASS 200 BE	PVC LATERAL	13
		CLASS 160	PVC SLEEVING	
	RAIN BIRD	44 LRC	QUICK COUPLING VALVE	9
	RAIN BIRD	PEB SERIES	ELECTRIC CONTROL VALVE	5
	FEECO	B2B4-1/2	BACKFLOW PREVENTER	11 & 12
	HUNTER	MINI CLK II	RAIN SENSOR	7
	RAIN BIRD	ESP-MC SERIES	ELECTRIC CONTROLLER	8
		LINE SIZE	GATE VALVE	6

POINT OF CONNECTION #1 - 1-1/2"
Peak Flow - 55 GPM
 CONTRACTOR SHALL CONNECT TO 1 1/2" COPPER STUB AT THIS LOCATION AND EXTEND NEW 1 1/2" TYPE K COPPER AT 48" MINIMUM DEPTH TO BACKFLOW PREVENTER LOCATION. INSTALL ONE 1 1/2" STOP & WASTE VALVE, ONE 1 1/2" REDUCED PRESSURE BACKFLOW PREVENTER WITH ENCLOSURE, ONE MANUAL DRAIN VALVE, ONE QUICK COUPLER VALVE AND EXTEND CLASS 200 BE PVC MAINLINE AS SHOWN. ALL FEES AND PERMITS ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.

CONTROLLER LOCATION "A"
 CONTRACTOR SHALL PEDESTAL MOUNT ONE RAIN BIRD 40 STATION ESP-MC SERIES CONTROLLER AT THIS APPROXIMATE LOCATION. 120-VOLT ELECTRICAL POWER IS AVAILABLE FROM BUILDING LOCATION. ELECTRICAL POWER AND CONNECTION TO CONTROLLER ARE BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. FEES & PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.

PROJECT NUMBER
03905.00

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DATE
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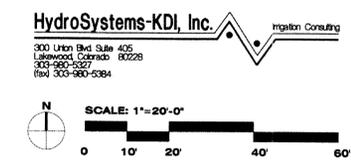
REVISIONS

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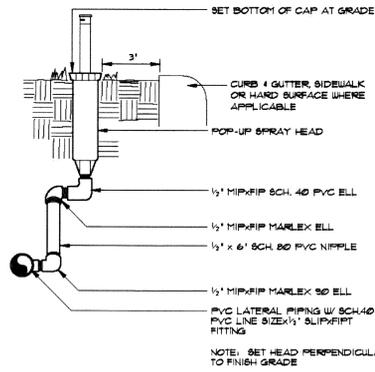
Carbon Valley Medical Campus

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIBET
SHEET TITLE	IRRIGATION PLAN
PREPARATION	17 JULY 2003
REVISION DATE	15 OCTOBER 2003
REVISION DATE	15 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 10 OF 14	



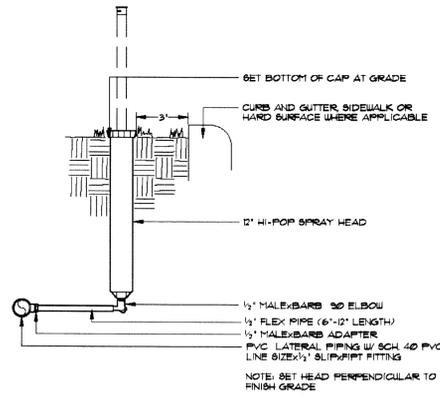
Final Development Plan
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 11 of 14

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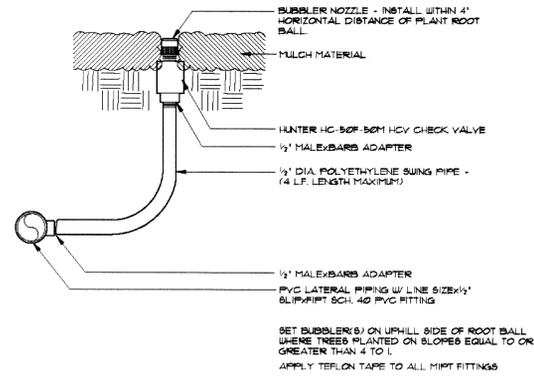
POP-UP SPRAY HEAD

1



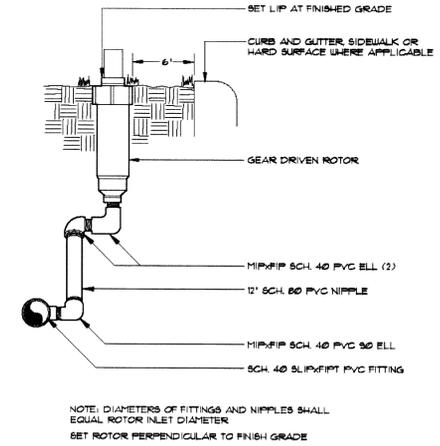
HI-POP SPRAY HEAD

2



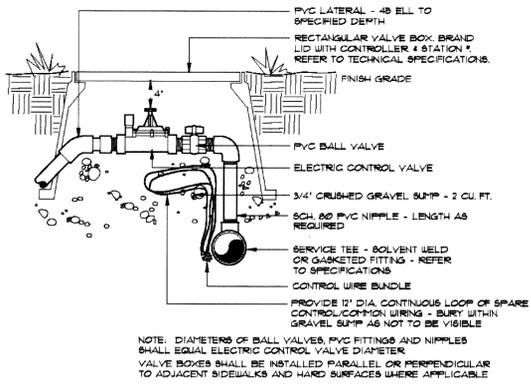
BUBBLER

3



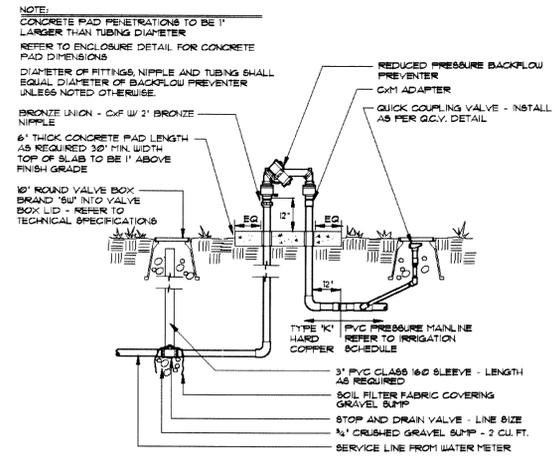
GEAR DRIVEN ROTOR

4



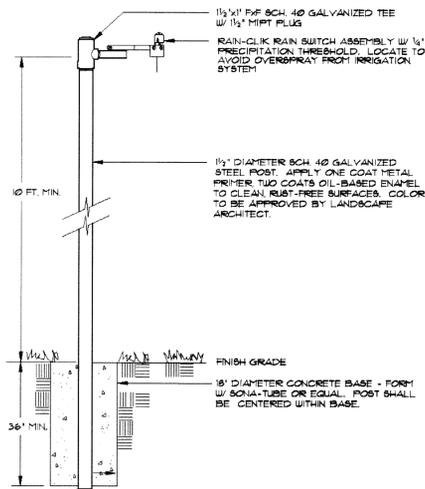
ELECTRIC CONTROL VALVE

5



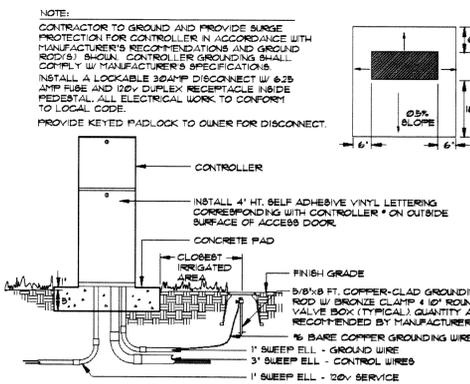
BACKFLOW PREVENTER

6



RAIN SENSOR

7



ELECTRIC CONTROLLER

8

PROJECT NUMBER

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INSIDE DESIGN

DATE

DEC. 17, 2003

REVISIONS

BOULDER ASSOCIATES

4747 Table Mesa Drive Suite 202
 Boulder, CO 80305
 (303) 499-7795 Facsimile (303) 499-7767

Carbon Valley Medical Campus

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL	THE CARBON VALLEY MEDICAL CENTER
TYPE OF SUBMITTAL	FINAL DEVELOPMENT PLAN
FILING NUMBER	
PHASE NUMBER	FIRST
SHEET TITLE	IRRIGATION DETAILS
PREPARATION	17 JULY 2003
REVISION DATE	15 OCTOBER 2003
REVISION DATE	15 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 11 OF 14	

SHEET TITLE

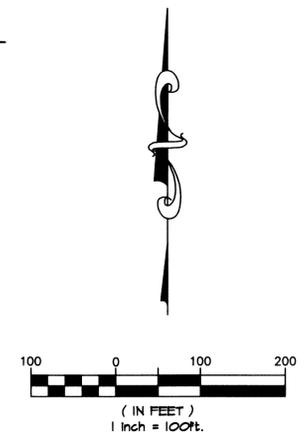
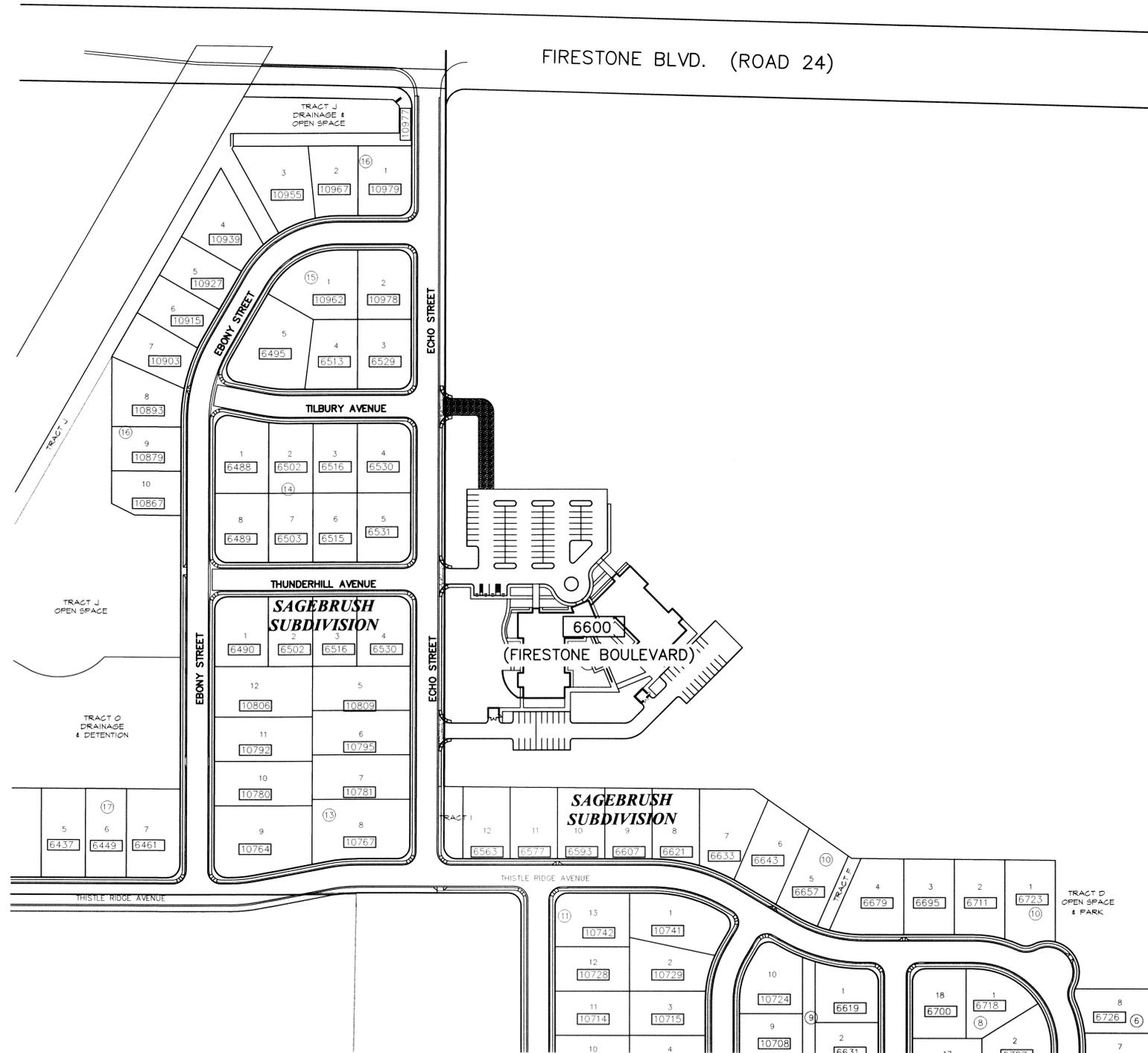
IRRIGATION DETAILS

SHEET NUMBER

11 of 14

**Final Development Plan
The Carbon Valley Medical Center
FDP ADDRESS MAP
Town of Firestone
Weld County
State of Colorado
Sheet 12 of 14**

3168739 04/07/2004 63:54P Weld County, CO
12 of 14 R 141.00 D 0.60 Steve Moreno Clerk & Recorder



PROJECT NUMBER
03895.00

DRAWN BY
D. GARST

DATE
13 OCTOBER, 2003

REVISIONS

BOULDER ASSOCIATES

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Carbon Valley Medical Center

FIRESTONE INFORMATION BLOCK	
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SHEET TITLE	FDP ADDRESS MAP
PREPARATION	17 JULY 2003
REVISION DATE	13 OCTOBER 2003
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REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 12 OF 14	

SHEET TITLE
FDP ADDRESS MAP

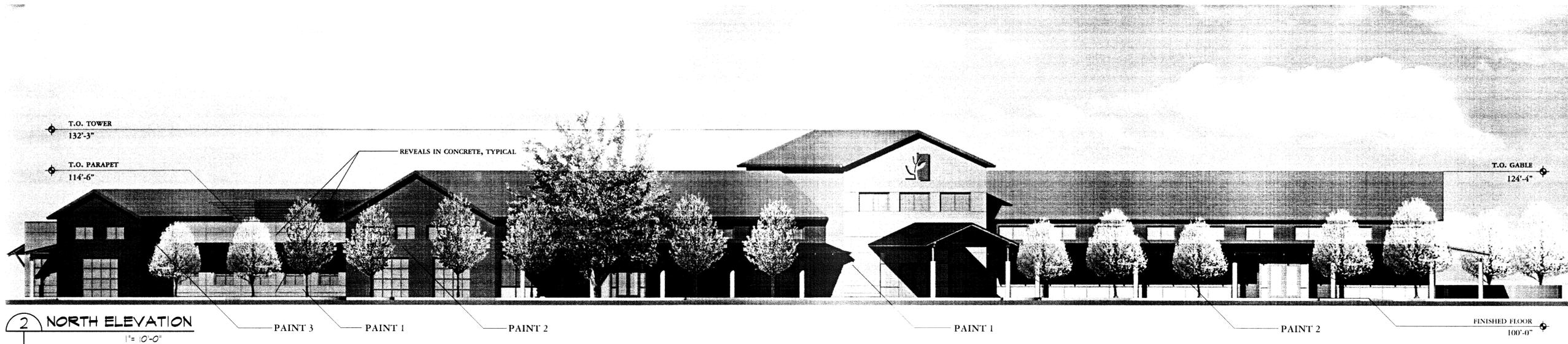
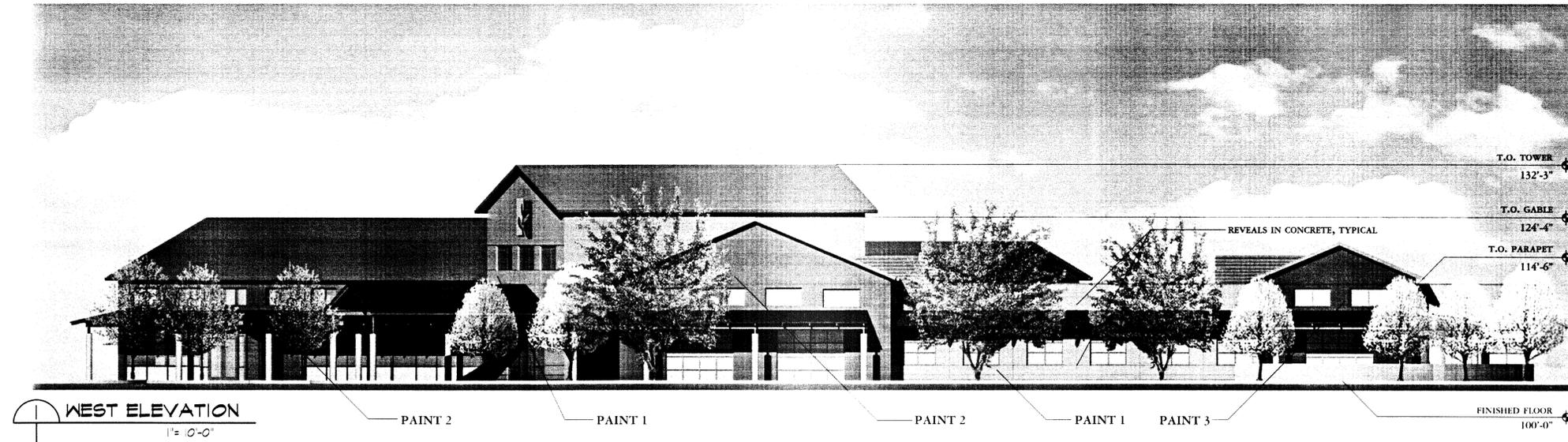
SHEET NUMBER
12 OF 14

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Final Development Plan
The Carbon Valley Medical Center
Building Elevations & Trash Enclosure

Town of Firestone
Weld County
State of Colorado
Sheet 13 of 14

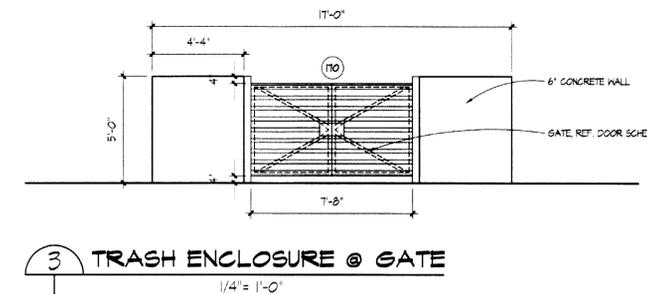
01/28/2004 06:07:2004 10:52:42 Weld County, CO
13 of 14 P 141,00 0 6.00 Steve Garisto Clerk & Recorder



MATERIAL LEGEND

-  PNT-1 Benjamin Moore "Golden Retriever" 2165-30
-  PNT-2 Benjamin Moore "Mayflower Red" HC-49
-  PNT-3 Sherwin Williams "Kelp" SW 1154
-  Asphalt Shingle Roof
-  Standing Seam Metal Roof

Material Note: The building is concrete tilt-up with textured paint applied to the surface



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PHASE NUMBER	FIRST
SHEET TITLE	BUILDING ELEVATIONS
PREPARATION	17 JULY 2003
REVISION DATE	13 OCTOBER 2003
REVISION DATE	13 NOVEMBER 2003
REVISION DATE	11 FEBRUARY 2004
REVISION DATE	
SHEET 13 OF 14	

PROJECT NUMBER
03905.00

DRAWN BY
D. GARST

DATE
13 OCTOBER, 2003

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4747 Table Mesa Drive Suite 202
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Carbon Valley
Medical Center

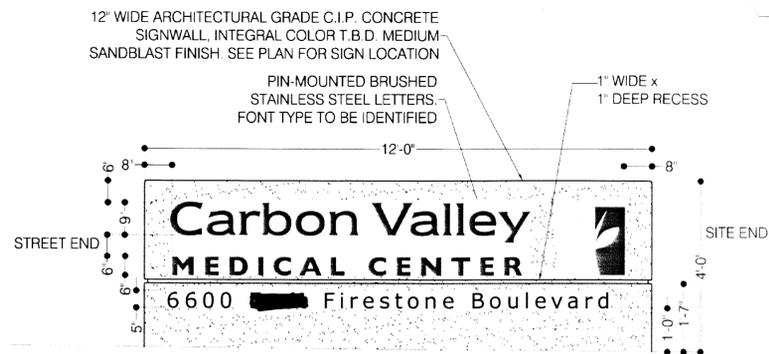
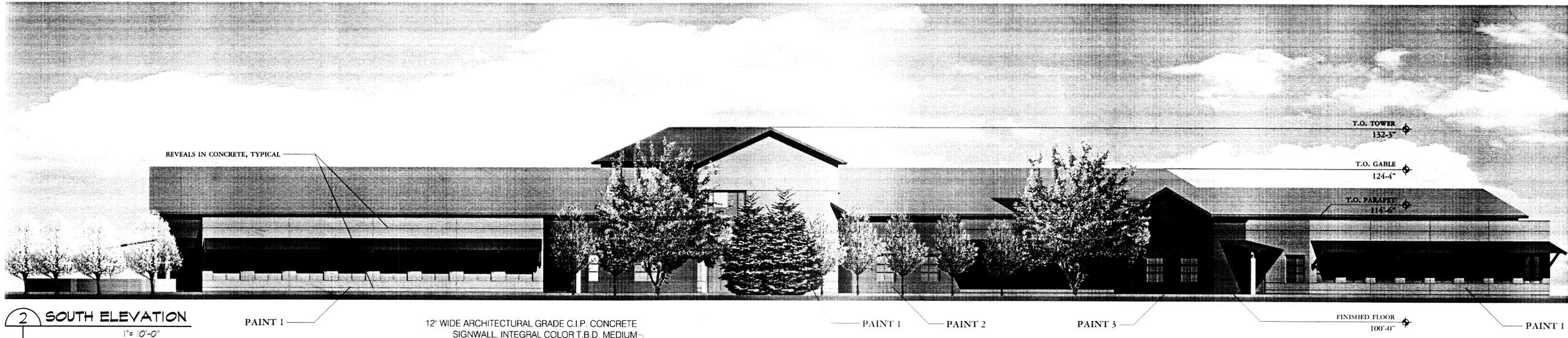
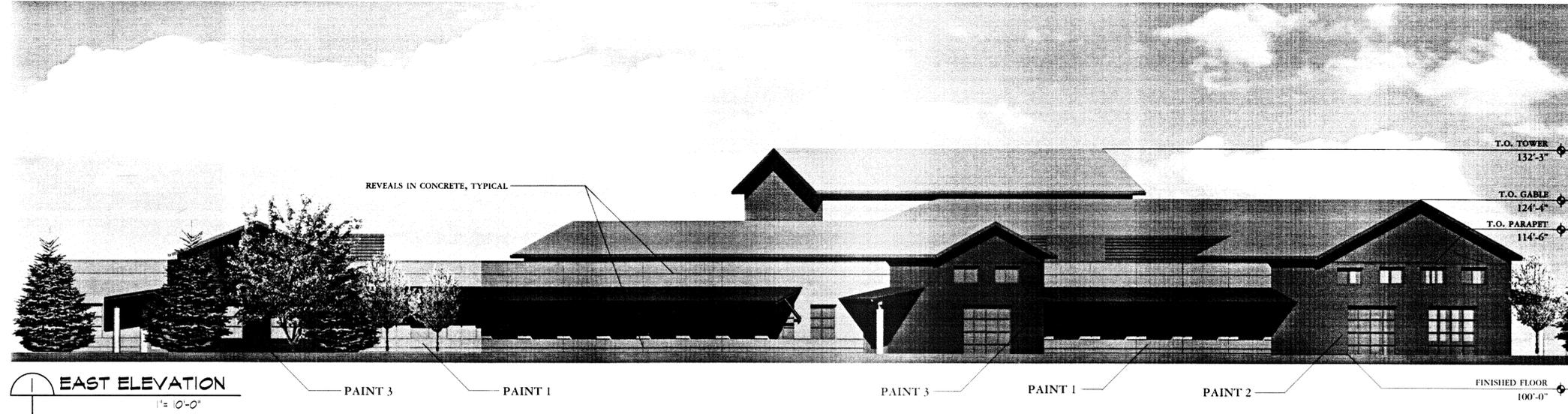
SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER
13 OF 14

Final Development Plan
 The Carbon Valley Medical Center
 Building Elevations & Monumental Signage

Town of Firestone
 Weld County
 State of Colorado
 Sheet 14 of 14

11/14/03 11:58:11 AM
 318x736 10/17/2004 CO 1449 - Visual Context - CU
 14 of 14 15 145.00 15 0.00 Steve Muehlestein & Recorder



CONTRACTOR IS TO SUBMIT FULL SHOP DRAWINGS FOR ALL COMPONENTS OF THE ENTRY SIGN. TEXT, EXACT WORDING AND FONT INFORMATION ARE TO BE PROVIDED BY OWNER. THE EXACT LOCATION OF THE ENTRY SIGN IS TO BE DETERMINED AND [REDACTED] TOWN OF FIRESTONE APPROVED BY THE

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SHEET 14 OF 14	

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Carbon Valley Medical Center

SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER
14 OF 14