

FINAL DEVELOPMENT PLAN ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2
AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D.

TOWN OF FIRESTONE
WELD COUNTY
STATE OF COLORADO
SHEET 1 OF 13

OWNER/DEVELOPERS:

ARM PETROLEUM
2653 WATERDALE
LOVELAND, COLORADO 80538
PHONE (970) 664-6283
FAX (970) 664-4540
CONTACT: AL ALEXANDER

TECHNICAL CONSULTANTS:

ARCHITECT:
WICKHAM GUSTAFSON ARCHITECTS
1449 RIVERSIDE AVENUE
FORT COLLINS, COLORADO 80524
PHONE (970) 449-2025
FAX (970) 449-2026
CONTACT: ROBERT GUSTAFSON

CIVIL ENGINEER:
FOOTHILLS ENGINEERING CO.
420 21ST AVENUE NO. 113
LONGMONT, COLORADO 80501
PHONE (303) 691-7212
CONTACT: JACK MYERS

LEGAL DESCRIPTION

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3,
BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D. THE INTENT OF THIS
BEING A PORTION OF THE SOUTH-WEST QUARTER OF SECTION 2,
TOWNSHIP 2, NORTH RANGE 68 WEST OF THE 6TH PRINCIPAL
MERIDIAN, TOWN OF FIRESTONE, WELD COUNTY, COLORADO

PROJECT CONCEPT

THIS PROJECT CONSISTS OF CONSTRUCTION OF A NEW 10,680 S.F. RETAIL BUILDING WITH DRIVE THRU, ON 2.12
ACRES OF LAND LOCATED IN THE DEL CAMINO JUNCTION BUSINESS PARK P.U.D. THE INTENT OF THIS
DEVELOPMENT IS TO PROVIDE DINING OPPORTUNITIES FOR LOCAL WORKERS, I-25 TRAVELERS AND TOWN
RESIDENTS WHILE PROVIDING THE TOWN WITH TAX REVENUE.

THE PROPERTY IS BORDERED ON THE WEST BY I-25, ON THE NORTH BY VACANT LAND, ON THE EAST BY THE
I-25 FRONTAGE ROAD, AND ON THE SOUTH BY RAM LAND TRUCK STOP. EXISTING INFRASTRUCTURE WILL BE
USED TO PROVIDE VEHICLE ACCESS AND UTILITY SERVICES TO THE PROPERTY. NO NEW ROADS ARE PROPOSED
WITH THIS DEVELOPMENT.

IMAGE OF THE FACILITY UTILIZES A FEW SUBTLE COLORS TO PROVIDE ARCHITECTURAL INTEREST. MOST COLORS
ARE EARTH TONE IN COMPOSITION VARYING MASSES AT PEDESTRIAN ENTRANCES PROVIDES ADDITIONAL
ARCHITECTURAL INTEREST.

LANDSCAPING PROVIDES VISUAL INTEREST AND SCREENING TO THE PROPERTY ESPECIALLY SERVICE AREAS.
INTERIOR PARKING LOT EXPANSE HAS BEEN REDUCED BY THE INTRODUCTION OF LANDSCAPE ISLANDS.

ZONING IS PLANNED UNIT DEVELOPMENT WITH A REGIONAL COMMERCIAL LAND USE.

LAND USE INFORMATION

GROSS PROJECT AREA:	42,688 S.F.	2.12 ACRES
BUILDING AREA:	10,680 S.F.	11.6%
PAVED AREA:	47,162 S.F.	50.8%
LANDSCAPE AREA:	34,846 S.F.	37.6%
OCCUPANCY CLASSIFICATION:	M (MERCHANDISE - INTERNATIONAL BUILDING CODE - 2003)	
CONSTRUCTION TYPE:	TYPE II (INTERNATIONAL BUILDING CODE - 2003)	
NUMBER OF BUILDINGS:	1	

DRAINAGE

PROJECT SITE WILL DRAIN TO THE EXISTING CONCRETE PAN LOCATED ALONG THE WEST EDGE OF THE
PROPERTY. THIS PAN CONVEYS SURFACE DRAINAGE OVER THE IRRIGATION DITCH TO STORAGE FACILITIES
LOCATED AT THE NORTH END OF DEL CAMINO JUNCTION BUSINESS PARK P.U.D. DEVELOPERS OF DEL CAMINO
JUNCTION BUSINESS PARK ANTICIPATED PROPOSED DEVELOPMENT ON THIS PROPERTY AND CREATED
STORMWATER DRAINAGE FACILITIES TO ACCOMMODATE STORMWATER EFFLUENT FROM THIS PROPERTY.
DRAINAGE DESIGN AND FACILITIES WILL COMPLY WITH THE DRAINAGE STUDY FOR DEL CAMINO JUNCTION
BUSINESS PARK.

"DRAINAGE REPORT TO THE TOWN OF FIRESTONE" WAS SUBMITTED BY FOOTHILLS ENGINEERING IN APRIL
2004.

UTILITIES

PROJECT WILL UTILIZE EXISTING UTILITIES CURRENTLY SERVING THE PROPERTY. IT IS NOT ANTICIPATED
THAT ADDITIONAL UTILITIES WILL NEED TO BE PROVIDED TO THE PROPERTY. ALL UTILITIES SHALL BE
SCREENED OR CANOPLAUGED FROM PUBLIC VIEW.

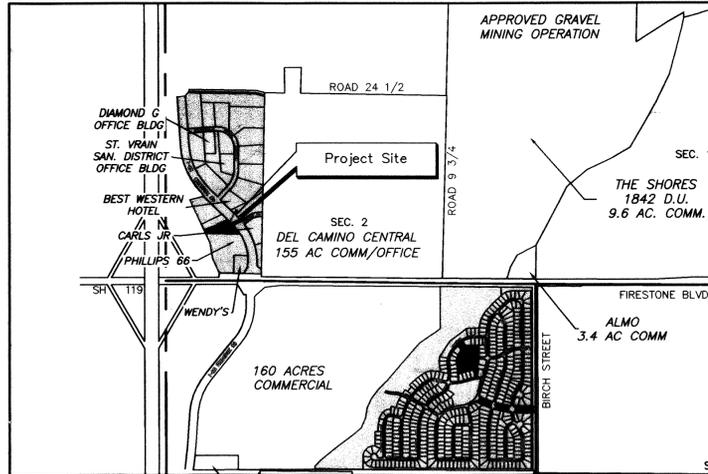
THE POTABLE WATER LINES WITHIN THIS DEVELOPMENT ARE OWNED AND OPERATED BY THE TOWN OF
FIRESTONE. HOWEVER, BECAUSE PRIVATE DRIVEWAY, PARKING LOT, CURB, GUTTER AND LANDSCAPING
ARE PERMITTED ATOP THIS PUBLIC WATER LINE WITH THIS APPLICATION, THE TOWN SHALL NOT BE
RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY CURB AND GUTTER, PAVEMENT, LANDSCAPING,
IRRIGATION FACILITIES, ETC., THAT ARE DISTURBED DURING THE COURSE OF REPAIRS, REPLACEMENTS, OR
ROUTINE MAINTENANCE. FURTHERMORE, THE LANDOWNER SHALL IMMEDIATELY COMPLY WITH AND IMPLEMENT
ANY PARKING/TRAVEL RESTRICTIONS NEEDED BY THE TOWN IN ORDER TO CARRY OUT REPAIRS,
REPLACEMENT, OR ROUTINE MAINTENANCE. **THE TOWN DETAIL(S) FOR FIRE HYDRANTS SHALL BE USED. ALL NEW HYDRANTS**

CBT WATER REQUIREMENTS

BASED UPON ESTIMATED WATER REQUIREMENTS FOR FUTURE TENANTS, THE OWNER AGREES TO SUBMIT A
TOTAL OF EIGHT (8) CBT WATER SHARES TO THE TOWN OF FIRESTONE. AT THIS TIME THE APPLICANT
DOES NOT ANTICIPATE RETAIL USERS THAT REQUIRE A HIGH WATER USAGE IN THIS BUILDING.

THE TOWN SHALL NOT ISSUE A CERTIFICATE OF OCCUPANCY FOR THE PROPOSED BUILDING UNTIL ALL
NECESSARY FEES AND REIMBURSEMENTS ARE PAID IN FULL. FURTHERMORE, THE TOWN SHALL NOT ISSUE
THE CERTIFICATE UNTIL THE PUBLIC IMPROVEMENTS ASSOCIATED WITH THE PROJECT ARE COMPLETED
TO THE SATISFACTION OF THE TOWN ENGINEER. THESE IMPROVEMENTS INCLUDE, BUT ARE NOT LIMITED
TO, THE INSTALLATION OF THE WATER SERVICE AND METER.

THE TOWN SHALL AT ALL TIMES HAVE THE RIGHT TO REQUIRE ADDITIONAL WATER RIGHTS FROM THE
OWNER OF THE LOT IF AT ANY TIME ACTUAL WATER USE EXCEEDS THE ESTIMATED TOTAL ANNUAL
POTABLE WATER DEMAND REQUIREMENT FOR SUCH USE, INCLUDING BOTH DOMESTIC AND IRRIGATION
USES. IF THE TOWN DETERMINES THAT THE ACTUAL WATER USE EXCEEDS THE ESTIMATE PROVIDED BY
THE FDP APPLICANT, THE LOT OWNER SHALL BE REQUIRED TO PROVIDE ADDITIONAL CBT SHARES
WITHIN 30 DAYS OF NOTICE OF THE EXCESS USE. THE TOWN SHALL DETERMINE THE ADDITIONAL WATER
DEDICATION REQUIREMENT BASED ON ITS THEN CURRENT WATER DEDICATION POLICIES.



VICINITY MAP
SCALE: 1"=1200'

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	SITE PLAN
SHEET 3	ARCHITECTURAL SITE PLAN
SHEET 4	GRADING & DRAINAGE PLAN
SHEET 5	GRADING & DRAINAGE DETAILS
SHEET 6	UTILITY PLAN
SHEET 7	LANDSCAPE PLAN
SHEET 8	IRRIGATION PLAN
SHEET 9	IRRIGATION DETAILS
SHEET 10	BUILDING ELEVATIONS
SHEET 11	SITE DETAILS
SHEET 12	SITE DETAILS
SHEET 13	SIGN PROGRAM

APPROVAL BLOCKS:

APPROVED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF FIRESTONE, COLORADO THIS

2nd DAY OF December, 2004, BY

RESOLUTION NO. 04-53

[Signature]
MAYOR

[Signature]
JUDY HEGWOOD
TOWN CLERK



APPROVED BY THE ST. VRAIN SANITATION DISTRICT THIS

1 DAY OF March, 2005 BY

[Signature]
ROB FLECK DISTRICT ENGINEER

ACCEPTANCE BLOCK AND NOTARY:

BY SIGNING THIS FDP, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL OF THE
REQUIREMENTS AND INTENT SET FORTH HEREIN.

OWNER *[Signature]* DATE: 2/24/05

STATE OF COLORADO)
196
COUNTY OF LARIMER)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24th
DAY OF February, 2005 BY Al Alexander

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC *[Signature]*

MY COMMISSION EXPIRES 8/100/2008



UTILITY PROVIDERS:

WATER:
TOWN OF FIRESTONE
151 GRANT AVE.
FIRESTONE, CO 80520

SEWER:
ST. VRAIN SANITATION DISTRICT
1901 BUSINESS PARK CIRCLE
FIRESTONE, CO 80504

ELECTRICITY:
UNITED POWER
1855 E. 160th AVE.
BRIGHTON, CO 80601

TELEPHONE:
QUEST
12211 W. GRANT
THORNTON, CO 80241

CABLE:
TCI CABLEVISION / AT&T
3131 W. 10TH AVE.
GREELEY, CO 80634

COMMUNITY SERVICE:

POLICE:
FIRESTONE POLICE DEPT.
151 GRANT AVE.
FIRESTONE, CO 80520

POSTAL:
US POSTAL SERVICE
1845 SKYWAY DR.
LONGMONT, CO 80504

FIRE:
FREDRICK/FIRESTONE AREA FIRE
PROTECTION DIST.
31 HAZEL DRIVE
FREDRICK, CO 80530

PREPARED BY:
WEG
WICKHAM GUSTAFSON ARCHITECTS
1449 RIVERSIDE AVENUE
FT. COLLINS CO. 80524
TELE: 970-449-2025 FAX: 970-449-2026

COVER SHEET
CHECKED BY: RT
SCALE: NONE
SHEET NUMBER: 1 of 13
DRAWING NUMBER: 2855-03

ARM RETAIL BUILDING
1164 I-25 FRONTAGE ROAD
FIRESTONE, COLORADO 80504

PREPARED FOR:
ARM PETROLEUM
2653 WATERDALE
LOVELAND, COLORADO 80538

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	TITLE SHEET
PREPARATION DATE:	10-27-03
REVISION DATE:	1-22-04
REVISION DATE:	6-15-04
REVISION DATE:	11-23-04
REVISION DATE:	
REVISION DATE:	

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D.

TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO

SHEET 2 OF 13

ON-RAMP (CONC.)

CO. STATE HWY 119 / FIRESTONE BOULEVARD

VACANT

WENDY'S

REPLAT OF LOT 1 BLOCK 2 KAHN SUBDIVISION
 BOOK 898 PAGE 981

KAHN SUBDIVISION
 LOT 1 BLOCK 1
 BOOK 181 REG NO. 282891

I-25 FRONTAGE ROAD (CONC.)

UNION STREET

LOT 1 BLOCK 3
 DEL CAMINO JUNCTION
 BUSINESS PARK P.U.D.

LOT 10 BLOCK 1
 DEL CAMINO JUNCTION
 BUSINESS PARK P.U.D.

LOT 11 BLOCK 1
 DEL CAMINO JUNCTION
 BUSINESS PARK P.U.D.

LOT 12
 DEL CAMINO JUNCTION
 BUSINESS PARK P.U.D.

SITE PLAN
 SCALE: 1" = 40'-0"



PREPARED BY:



1449 RIVERSIDE AVENUE
 FT. COLLINS CO. 80524
 TELE- 970-498-2025 FAX- 970-498-2026

SITE PLAN

DRAWN BY: RT CHECKED BY:

DATE: 10-27-03 SCALE: 1" = 40'-0"

DRAWING NUMBER: 2855-03 SHEET NUMBER:

2 of 13

ARM RETAIL BUILDING
 11891 I-25 FRONTAGE ROAD
 FIRESTONE, COLORADO 80504

PREPARED FOR:
 ARM PETROLEUM
 2653 WATERDALE
 LOVELAND, COLORADO 80538

FIRESTONE INFORMATION BLOCK

NAME OF SUBMITTAL:	ARM RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	SITE PLAN
PREPARATION DATE:	10-27-03
REVISION DATE:	6-15-04
REVISION DATE:	11-23-04
REVISION DATE:	12-24-04
REVISION DATE:	02-22-05
REVISION DATE:	

FINAL DEVELOPMENT PLAN

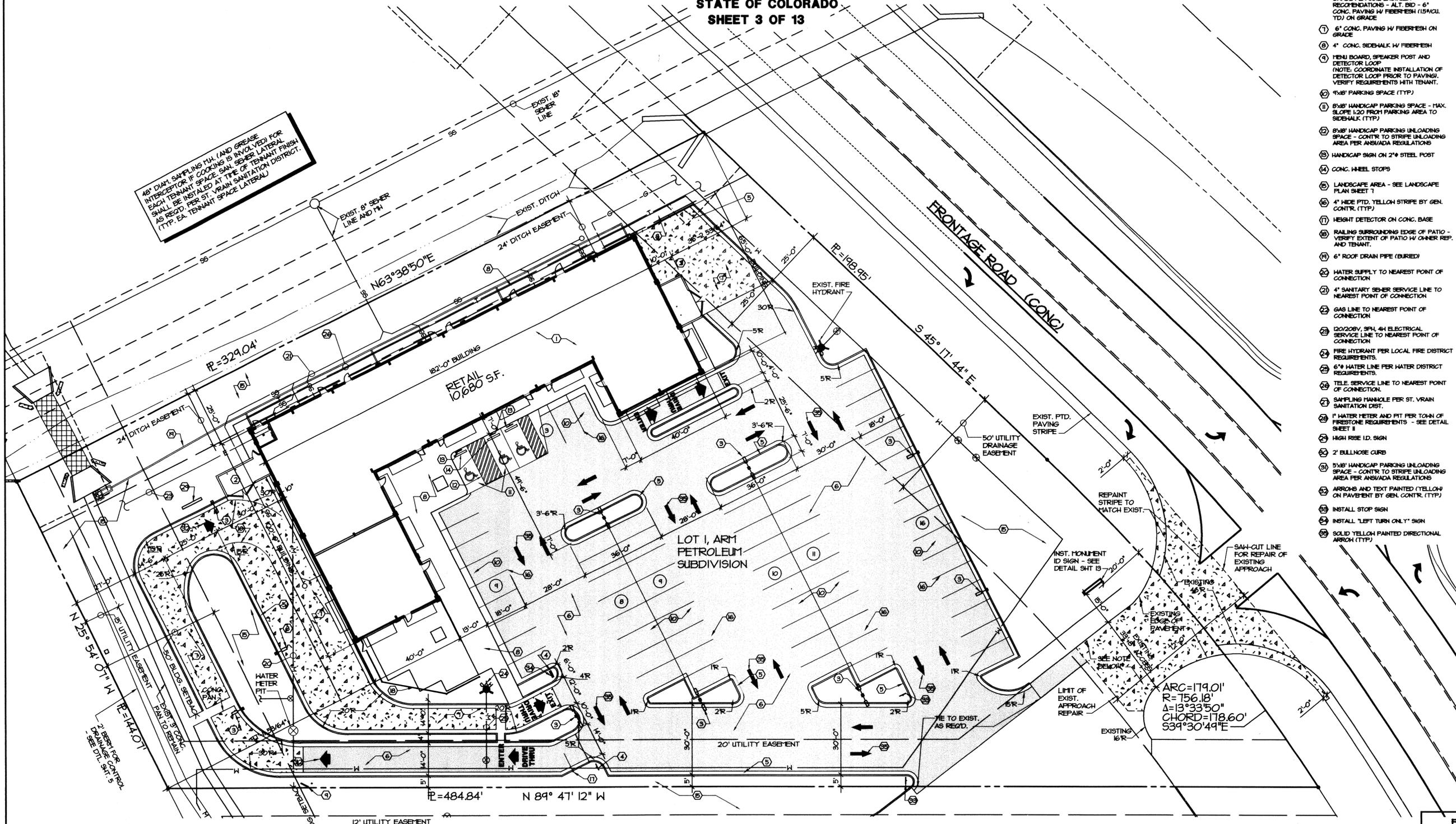
ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D

TOWN OF FIRESTONE
WELD COUNTY
STATE OF COLORADO
SHEET 3 OF 13

3234732 05/10/2005 01:32P Weld County, CO
3 of 13 R 131.00 D 0.00 Steve Moreno Clerk & Recorder

8" DIAM. SAMPLING TUB (AND GREASE INTERCEPTOR IF COOKING IS INVOLVED) FOR EACH TENANT SPACE. SAN SEWER LATERAL SHALL BE INSTALLED AT TIME OF TENANT FINISH AS REGD. PER ST. VRAIN SANITATION DISTRICT. (TYP. EX. TENANT SPACE LATERAL)



KEY NOTES:

- ① NEW RETAIL BUILDING
- ② 10'x20'x6" HIGH MASONRY BLOCK TRASH ENCLOSURE
- ③ DARK BRONZE AREA LIGHT - SEE DETAIL SHEET
- ④ DRIVE THRU DIRECTIONAL SIGNS - DRIVE-THRU ENTRY & DRIVE-THRU EXIT
- ⑤ 6" CONC. CURB WITH 18" GUTTER
- ⑥ 6" FULL DEPTH ASPHALT PAVING ON GRADE PER SOIL ENGINEER RECOMMENDATIONS - ALT. BID - 6" CONC. PAVING W/ FIBERESH (15% VOL. TD) ON GRADE
- ⑦ 6" CONC. PAVING W/ FIBERESH ON GRADE
- ⑧ 4" CONC. SIDEWALK W/ FIBERESH
- ⑨ MENU BOARD, SPEAKER POST AND DETECTOR LOOP (NOTE: COORDINATE INSTALLATION OF DETECTOR LOOP PRIOR TO PAVING. VERIFY REQUIREMENTS WITH TENANT.)
- ⑩ 9'x8' PARKING SPACE (TYP)
- ⑪ 8'x8' HANDICAP PARKING SPACE - MAX. SLOPE 1:20 FROM PARKING AREA TO SIDEWALK (TYP)
- ⑫ 8'x8' HANDICAP PARKING UNLOADING SPACE - CONTR. TO STRIPE UNLOADING AREA PER ANSI/ADA REGULATIONS
- ⑬ HANDICAP SIGN ON 2" STEEL POST
- ⑭ CONC. WHEEL STOPS
- ⑮ LANDSCAPE AREA - SEE LANDSCAPE PLAN SHEET 7
- ⑯ 4" WIDE PTD. YELLOW STRIPE BY GEN. CONTR. (TYP)
- ⑰ HEIGHT DETECTOR ON CONC. BASE
- ⑱ RAILING SURROUNDING EDGE OF PATIO - VERIFY EXTENT OF PATIO W/ OWNER REP. AND TENANT.
- ⑲ 6" ROOF DRAIN PIPE (BURIED)
- ⑳ WATER SUPPLY TO NEAREST POINT OF CONNECTION
- ㉑ 4" SANITARY SEWER SERVICE LINE TO NEAREST POINT OF CONNECTION
- ㉒ GAS LINE TO NEAREST POINT OF CONNECTION
- ㉓ 120/208V, 3PH, 4W ELECTRICAL SERVICE LINE TO NEAREST POINT OF CONNECTION
- ㉔ FIRE HYDRANT PER LOCAL FIRE DISTRICT REQUIREMENTS.
- ㉕ 6" WATER LINE PER WATER DISTRICT REQUIREMENTS.
- ㉖ TELE. SERVICE LINE TO NEAREST POINT OF CONNECTION.
- ㉗ SAMPLING MANHOLE PER ST. VRAIN SANITATION DIST.
- ㉘ WATER METER AND FIT PER TOWN OF FIRESTONE REQUIREMENTS - SEE DETAIL SHEET 1
- ㉙ HIGH RISE ID. SIGN
- ㉚ 2" BULLNOSE CURB
- ㉛ 5'x8' HANDICAP PARKING UNLOADING SPACE - CONTR. TO STRIPE UNLOADING AREA PER ANSI/ADA REGULATIONS
- ㉜ ARROWS AND TEXT PAINTED (YELLOW) ON PAVEMENT BY GEN. CONTR. (TYP)
- ㉝ INSTALL STOP SIGN
- ㉞ INSTALL "LEFT TURN ONLY" SIGN
- ㉟ SOLID YELLOW PAINTED DIRECTIONAL ARROW (TYP)

PREPARED BY:
ARCHITECTURAL SITE PLAN
WELLS GUSTAFSON
1449 RIVERSIDE AVENUE
FT. COLLINS CO 80524
TEL: 970-498-2025 FAX: 970-498-2026

ARCHITECTURAL SITE PLAN
DRAWN BY: RT
CHECKED BY:
DATE: 10-27-03
SCALE: 1" = 20'-0"
DRAWING NUMBER: 2855-03
SHEET NUMBER: 3 of 13

PREPARED FOR:
ARM RETAIL BUILDING
1184 1-25 FRONTAGE ROAD
FIRESTONE, COLORADO 80504
ARM PETROLEUM
2653 WATERDALE
LOVELAND, COLORADO 80538

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"

NOTE:
REPLACE EXISTING ACCESS WITH 8" THICK CONCRETE, CONFORMING TO COLORADO DEPT. OF TRANSPORTATION (CDOT) CLASS P (PAVING CONCRETE), WITH CONSTRUCTION ACCORDING TO SECTION 412 OF CDOT'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AND SECTION 11-412-1 FOR PAVEMENT JOINTS



FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM1 RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	ARCHITECTURAL SITE PLAN
PREPARATION DATE:	10-27-03
REVISION DATE:	8-16-04 REV. PER DITCH CO.
REVISION DATE:	11-23-04
REVISION DATE:	12-24-04
REVISION DATE:	02-11-05 REV. PER ST. VRAIN
REVISION DATE:	02-22-05 REV. PER ST. VRAIN

FINAL DEVELOPMENT PLAN

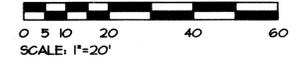
ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D

**TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO
 SHEET 4 OF 13**

CONSTRUCTION

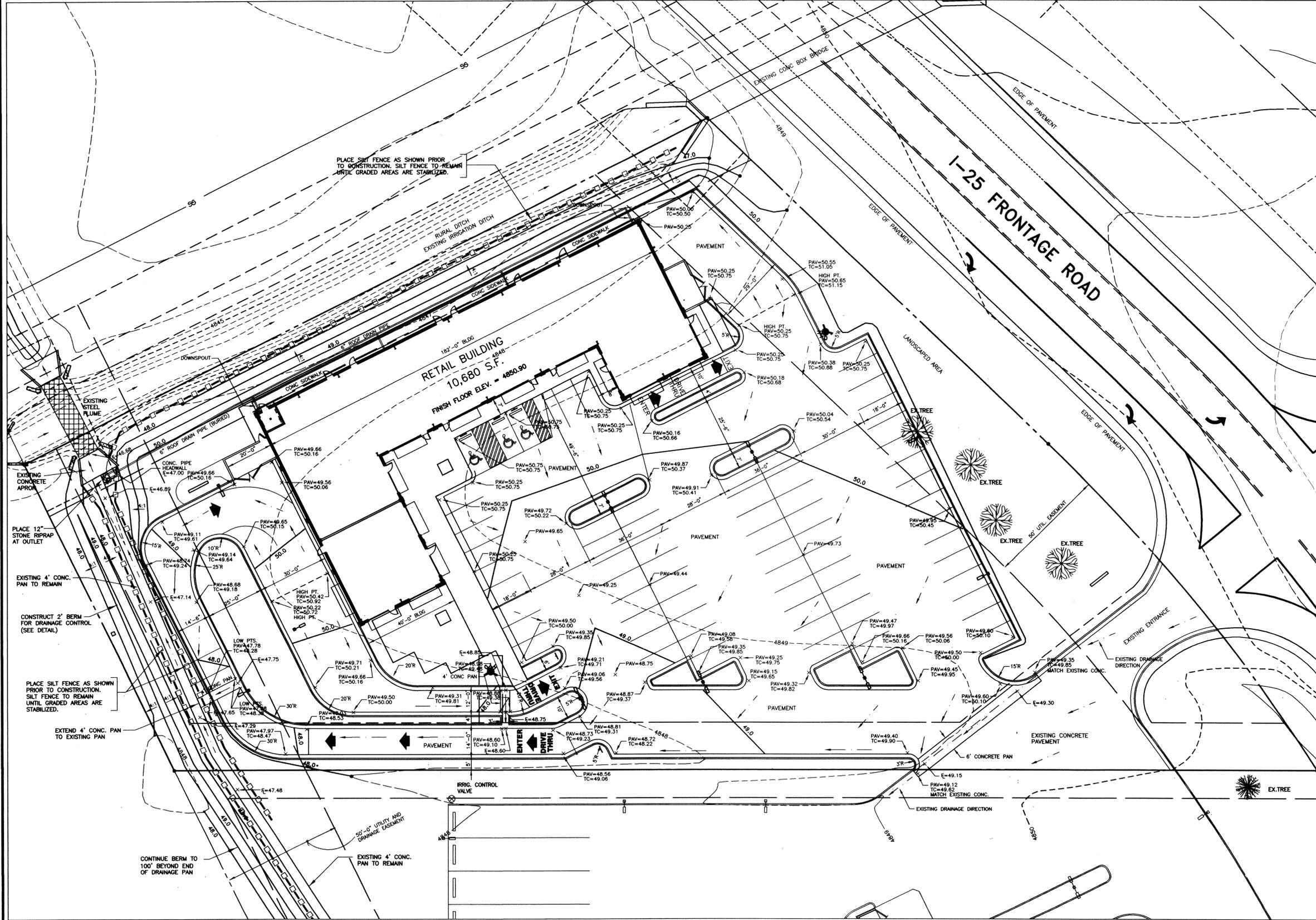
1. Slope sidewalks 0.10' away from buildings (side toward building is 0.10' higher).
 2. It is assumed that, whenever possible, 6" or more of the foundation stemwall will be left exposed above the finish ground level.
 3. Existing topography is derived from a previous survey by Landstar Surveying and supplemental surveying by Foothills Engineering. Utility information as shown is not guaranteed to be complete or accurate. All utilities should be located before beginning construction.
- EROSION CONTROL**
4. To the extent practicable, erosion and sediment control measures shall be installed prior to grading activities. At all times during project construction, all temporary and permanent erosion and sediment control measures shall be maintained and repaired as needed to prevent accelerated erosion on the site and any adjacent properties.
 5. All topsoil, where physically practicable, shall be salvaged and no topsoil shall be removed from the site except as set forth in the approved plans. Topsoil and overburden shall be segregated and stockpiled separately. Topsoil and overburden shall be redistributed within the graded area after rough grading to provide a suitable base for areas which will be seeded and planted. Runoff from stockpiled area shall be controlled to prevent erosion and resultant sedimentation of receiving water.
 6. Permanent or temporary soil stabilization measures shall be applied to disturbed areas and soil stockpiles within 30 days after final grade is reached on any portion of the site. Soil stabilization measures shall be applied within 30 days to disturbed areas which may not be at final grade, but will be left dormant for longer than 60 days.
 7. Fugitive dust emissions resulting from grading activities and/or wind shall be controlled within the best available control technology as defined by the Colorado Department of Health at the time of grading.
 8. All Erosion Control measures shall be installed, inspected and approved by the Town Inspector before the start of construction.



LEGEND

EXISTING CONTOURS	--- 48.46 ---
PROPOSED FINISH CONTOUR	— 48.0 —
DIRECTION OF FLOW	→
DRAINAGE DIVIDE	- - - - -
EASEMENT	- - - - -
SAN SEWER LINE	— SS —
SAN SEWER MANHOLE	⊙
GAS LINE	— G —
GAS PIPELINE	— P —
UNDERGROUND ELECTRIC	— E —
WATER MAIN	— W —
FIRE HYDRANT	⊕
WATER VALVE	⊗
SILT FENCE	□ □ □ □ □

BENCHMARK —
 COOT CONTROL MONUMENT MP-240.65, LOCATED 300' WEST OF THE INTERSECTION OF WELD COUNTY ROAD 24 1/2 AND THE I-25 FRONTAGE ROAD.
 ELEVATION = 4840.09



FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	GRADING & DRAINAGE PLAN
PREPARATION DATE:	05/23/04
REVISION DATE:	07/02/04
REVISION DATE:	07/15/04
REVISION DATE:	01/07/05
REVISION DATE:	02/22/05
REVISION DATE:	
SHEET 4 OF 13	

RETAIL BUILDING	
Grading & Drainage Plan	
DATE	03/05/04
JOB NO.	Foothills Engineering
SHEET	4
OF	13

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FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D

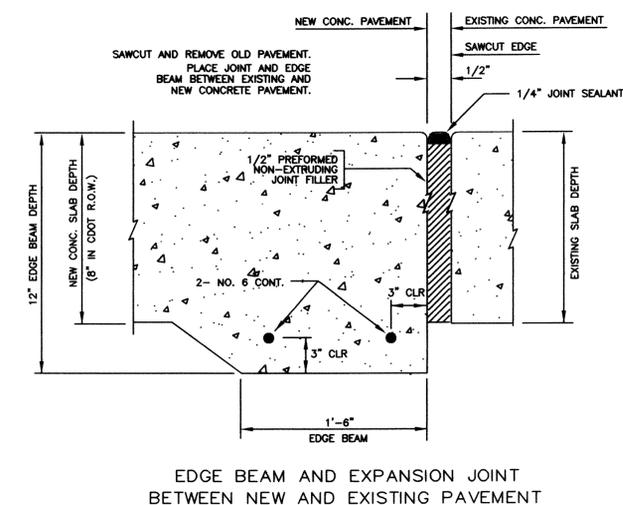
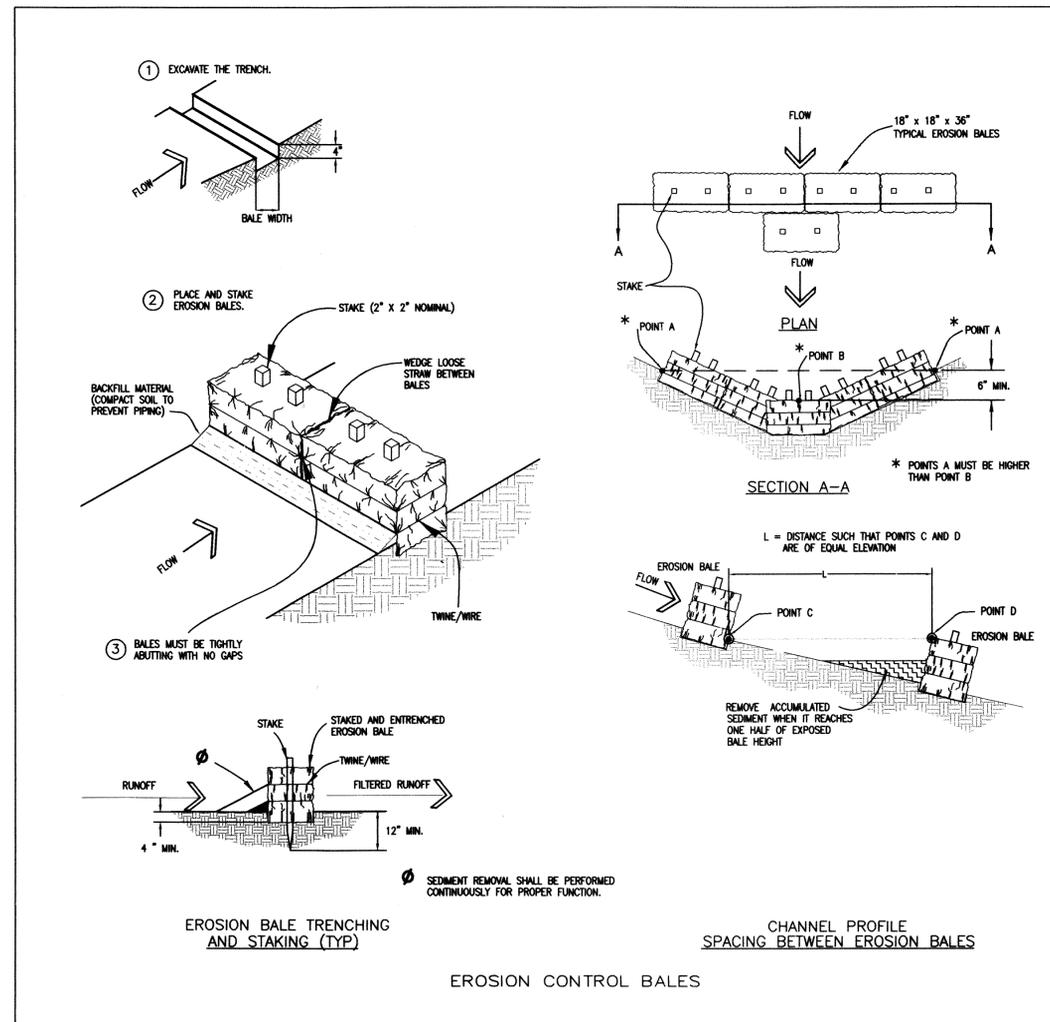
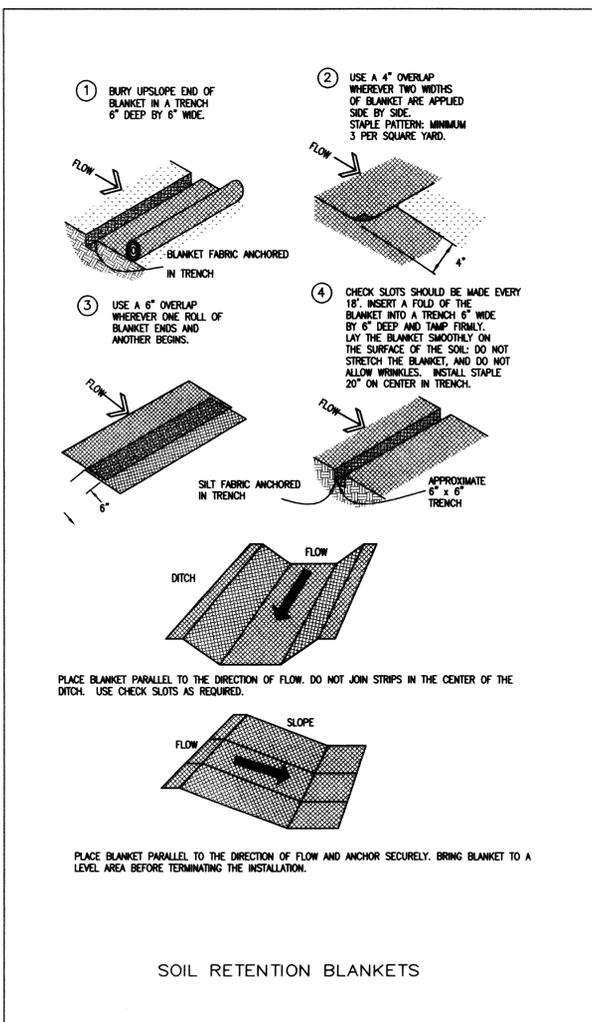
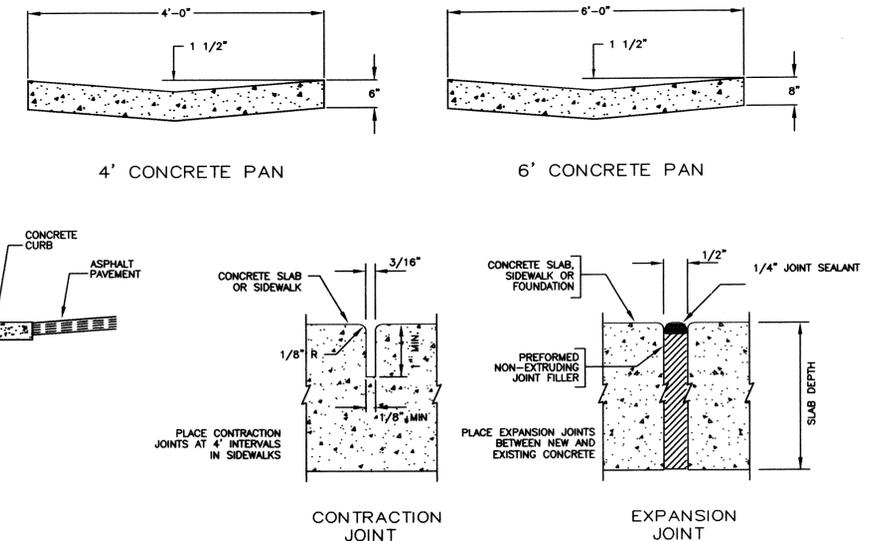
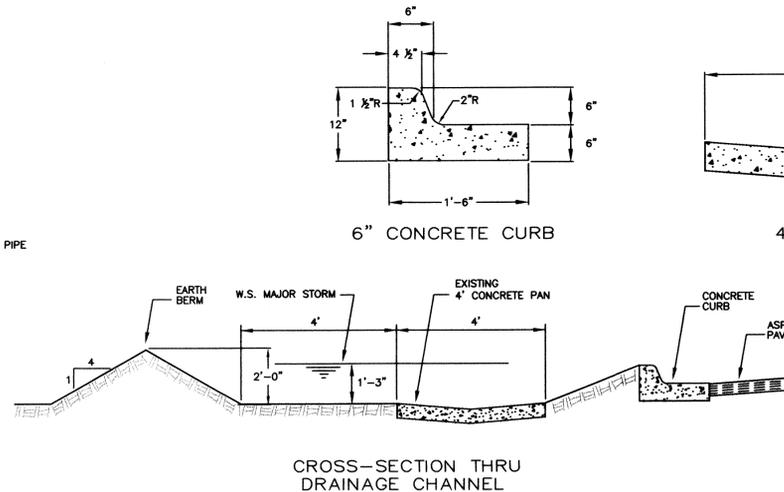
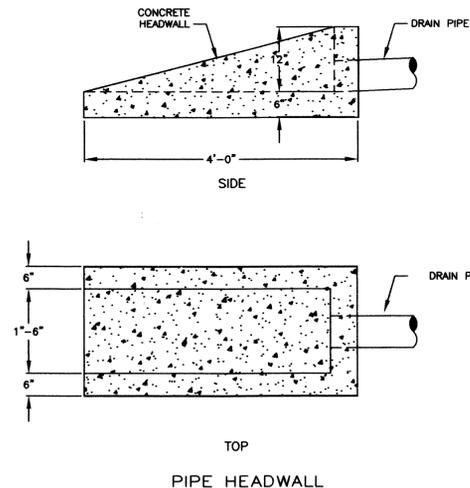
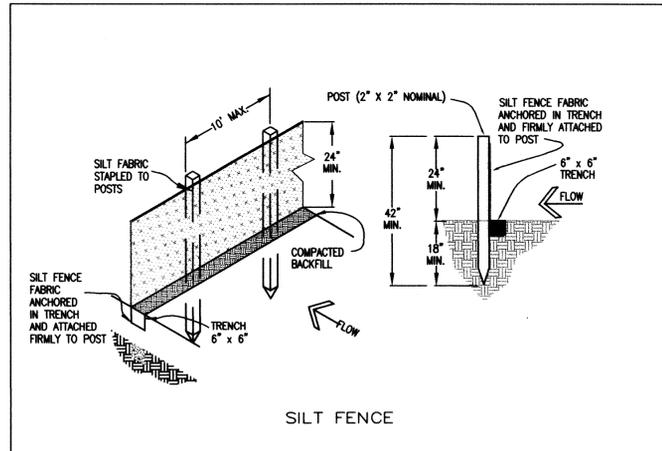
TOWN OF FIRESTONE WELD COUNTY STATE OF COLORADO SHEET 5 OF 13

CONSTRUCTION

- Slope sidewalks 0.10' away from buildings (side toward building is 0.10' higher).
- It is assumed that, whenever possible, 6" or more of the foundation stemwall will be left exposed above the finish ground level.
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EROSION CONTROL

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- Fugitive dust emissions resulting from grading activities and/or wind shall be controlled using the best available control technology as defined by the Colorado Department of Health at the time of grading.



FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	GRADING & DRAINAGE PLAN
PREPARATION DATE:	03/23/04
REVISION DATE:	07/02/04
REVISION DATE:	07/15/04
REVISION DATE:	11-23-04
REVISION DATE:	
REVISION DATE:	
SHEET 5 OF 13	

BENCHMARK -
 CDOT CONTROL MONUMENT WP-240.65, LOCATED 300' WEST
 OF THE INTERSECTION OF WELD COUNTY ROAD 24 1/2
 AND THE I-25 FRONTAGE ROAD.
 ELEVATION = 4840.09

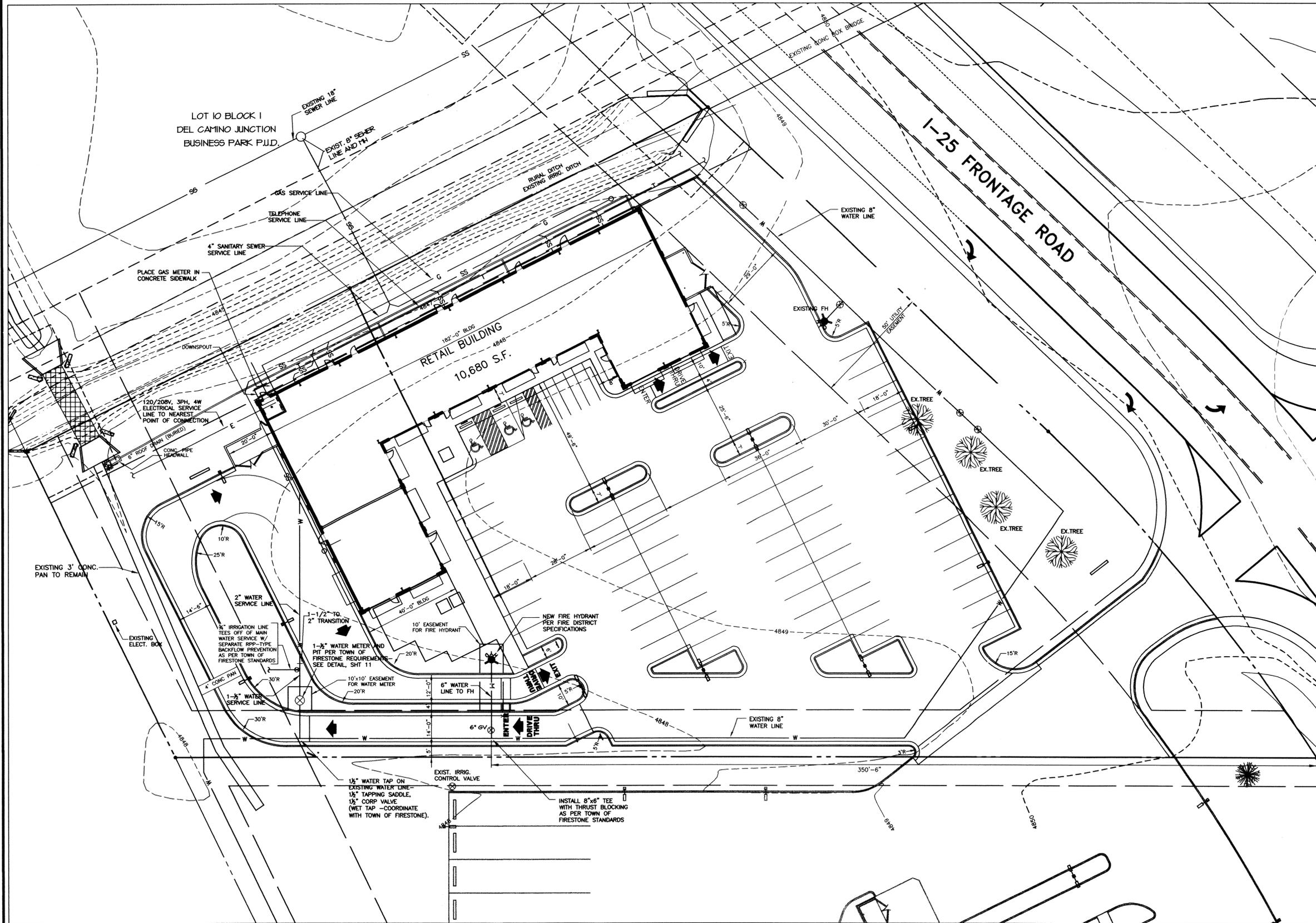
RETAIL BUILDING	
Grading & Drainage Details	
DATE	Foothills Engineering
3/05/04	
JOB NO.	SHEET 5 OF 13

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2
 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D

TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO
 SHEET 6 OF 13



LEGEND

EASEMENT	---
EXISTING CONTOURS	--- 4847 ---
SAN SEWER LINE	SS
SAN SEWER MANHOLE	⊙
GAS LINE	G
GAS PIPELINE	P
UNDERGROUND ELECTRIC	E
WATER MAIN	W
FIRE HYDRANT	⊕
WATER VALVE	⊗

FIRESTONE INFORMATION BLOCK

NAME OF SUBMITTAL:	ARM RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	UTILITY PLAN
PREPARATION DATE:	03/23/04
REVISION DATE:	07/15/04
REVISION DATE:	08/13/04
REVISION DATE:	11/19/04
REVISION DATE:	01/07/05
REVISION DATE:	02/17/05
SHEET 6 OF 13	

RETAIL BUILDING Utility Plan	
DATE: 03/05/04	Foothills Engineering
JOB NO.	SHEET 6 OF 13

PLANT SCHEDULE

ABB.	BOTANICAL NAME	COMMON NAME	QUAN	SIZE	TYPE
BJ	JUNIPERUS CHINENSIS 'BLUE POINT'	BLUE POINT JUNIPER	5	6 FT.	B4B
BA	FRAXINUS PENNSYLVANICA	BERGESSON ASH	2	2" CAL.	B4B
FC	MALUS 'BRANDYHINE'	FLOERING CRABAPPLE	10	2" CAL.	B4B
AC	RIBES ALPINUM	ALPINE CURRANT	11	5 GAL.	CONT.
CJ	JUNIPERUS SABINA	CALGARY CARPET JUNIPER	85	5 GAL.	CONT.
LP	LIPINUS FLEXILIS	LIMBER PINE	4	4 FT.	B4B
HP	FINIS HUGO 'SLOHOUND'	HUGO PINE 'SLOHOUND'	2	5 GAL.	CONT.
PA	FRAXINUS AMERICANA	AUTUMN PURPLE ASH	2	2" CAL.	B4B
NC	CATALPA SPECIOSA	NORTHERN CATALPA	1	2" CAL.	B4B
BO	QUERCUS MACROCARPA	BUR OAK	1	2" CAL.	B4B
HB	CELTIS OCCIDENTALIS	HACKBERRY	1	2" CAL.	B4B
BB	BURNINGUS ALATUS 'COMFACTUS'	BURNING BUSH	5	5 GAL.	CONT.
GS	SPIREA X BUNALDA 'GOLDFLARE'	GOLDFLARE SPIREA	8	5 GAL.	CONT.
MJ	JUNIPERUS SCOPULORUM 'TEDORA'	TEDORA JUNIPER	10	5 FT.	B4B
IV	HEDERA HELIX	ENGLISH IVY	11	1 GAL.	CONT.
ROCK		1 1/2" - 3" WASHED RIVER ROCK			
GRASS		HYDROSEED MIXTURE OF DROUGHT TOLERANT GRASSES - SEE NOTE 20			
SOD		BLUEGRASS SOD			

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D.

TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO
 SHEET 7 OF 13

NOTE:

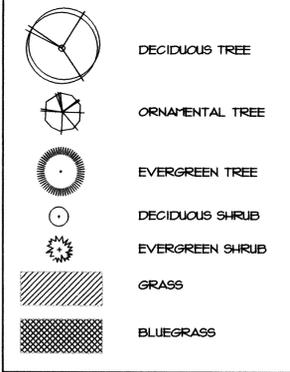
GENERAL CONTRACTOR TO DESIGN, FURNISH, AND INSTALL IRRIGATION SYSTEM AS REQUIRED TO PROVIDE ADEQUATE IRRIGATION TO ALL LANDSCAPED AREAS. SEE NOTES 12, 13, 14, 15.

LANDSCAPE NOTES:

- THE CONTRACTOR IS TO FURNISH AND INSTALL PLANT MATERIALS AS NOTED. ALL PLANT MATERIAL MUST EQUAL OR EXCEED THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PRIOR TO ANY PLANTING OPERATIONS, THE AREA TO BE PLANTED IS TO BE PREPARED WITH 5 CUBIC YARDS/1000 SQ. FT. OF ORGANIC MATERIAL, ROTOTILLED A MINIMUM OF 6" DEEP.
- EXCAVATE PLANTING PIT THICE AS WIDE AS ROOT BALL. PREPARED PLANT BACKFILL TO BE 1/3 ORGANIC MATERIAL AND 2/3 CLEAN TOPSOIL. STAKE ALL EVERGREEN TREES WITH TREE GUY WIRES AND CANNAS STRAPS WITH GROMMETS. STAKE ALL DECIDUOUS TREES WITH T-BAR METHOD (TWO STAKES PER TREE). NO EXPOSED WIRES SHOULD COME INTO CONTACT WITH THE TRUNK FOR EITHER GUYING METHOD. TREE WRAP ALL DECIDUOUS TREES TO FIRST BRANCH.
- ALL TREES AND SHRUBS ARE TO BE PLANTED AFTER ROUGH GRADING AND PRIOR TO PLACING OF GROUND COVER MATERIAL.
- NOT USED
- CONTRACTOR TO MAINTAIN ALL PLANTINGS INSTALLED UNDER THIS CONTRACT UNTIL FINAL ACCEPTANCE AND TURNOVER TO OWNER.
- PLANTS SHALL BE GUARANTEED FOR ONE GROWING SEASON. SPRING PLANTINGS WILL BE GUARANTEED THROUGH OCTOBER OF THE SAME YEAR. ANY PLANTINGS AFTER THE MONTH OF AUGUST WILL BE GUARANTEED THROUGH MAY OF THE FOLLOWING SPRING.
- PLANTING BED EDGER TO BE RYERSON STEEL EDGER, 1/8" X 4" X 10" (OR EQUAL).
- CONTRACTOR TO REPAIR OR REPLACE ANY SOD, MULCH, OR SITE IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLACE GEOTEXTILE FABRIC (MIRAFI #140-2 OR EQUAL) UNDER ALL ROCK OR PLANTING BEDS.
- LANDSCAPE INSTALLATION TO BE COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (VERIFY PROCEDURE WITH LOCAL GOVERNING AUTHORITY).
- IRRIGATION SYSTEM SHALL HAVE SHRUB BEDS AND LAWN AREAS ZONED SEPARATELY. LAWN AREAS TO BE POP-UP SPRAY SYSTEM. SHRUB BEDS TO HAVE FULL COVERAGE WITH EITHER A MICRO-SPRITTER OR DRIP SYSTEM. ALL HEADS TO BE ADJUSTED TO PREVENT OVERSPRINT ONTO BUILDINGS AND WALKWAYS.
- BACKFLOW PREVENTION DEVICE SHALL BE IN ACCORDANCE WITH TOWN OF FIRESTONE SPECIFICATIONS.
- IRRIGATION SYSTEM COMPONENTS TO BE MANUFACTURED BY 'RAINBIRD' OR EQUAL. SPRINKLER SYSTEM CONTROL UNIT TO BE INSTALLED IN GAR WASH STORAGE ROOM.
- ALL SHRUB BEDS SHALL BE MULCHED WITH 1-1/2" - 3" WASHED RIVER ROCK TO A DEPTH OF 3".
- MINOR CHANGES IN PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SPECIFIC SITE CONDITIONS. OVERALL QUANTITY AND QUALITY TO BE CONSISTENT WITH APPROVED PLANS.
- ALL TREES SHALL BE 10' CLEAR OF WATER AND SANITARY SEWER LINES AND 4' CLEAR OF GAS LINES.
- ALL SHRUBS SHALL BE 4' CLEAR OF WATER, SANITARY SEWER LINES AND GAS LINES.
- AREAS LABELED AS "GRASS" ARE TO BE HYDROSEED WITH THE FOLLOWING MIXTURE OF DROUGHT TOLERANT GRASSES.

20%	SR3200	BLUE FESCUE
20%	SR3200	CREeping RED FESCUE
20%	SR3100	CHICKING FESCUE
20%	SR3100	HARD FESCUE
10%	OTNI	PERENNIAL RYEGRASS
10%	NU	BLUE KENTUCKY BLUEGRASS

LEGEND



STATEMENT OF INTENT:

LANDSCAPING IS INTENDED TO PROVIDE VISUAL SCREENING AND PARKING LOT SHADING WHILE MAINTAINING VISUAL QUES TO THE RETAIL BUILDING. TREES AND SHRUBS ARE STRATEGICALLY PLACED TO SCREEN UTILITY AND DELIVERY AREAS WHILE HIGHLIGHTING PROMINENT SITE FEATURES.

PARKING LOT LANDSCAPE ISLANDS ARE PROVIDED TO REDUCE THE EXPANSE OF PARKING LOT AREAS. LANDSCAPE ISLANDS WILL BE PLANTED WITH TREES AND SHRUBS TO SHADE THE PARKING AREA.

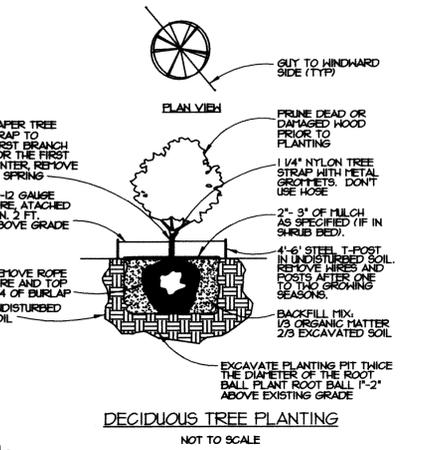
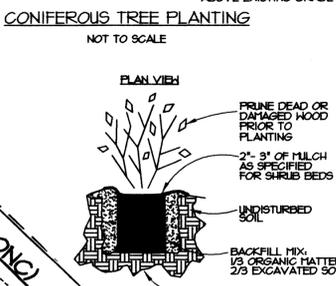
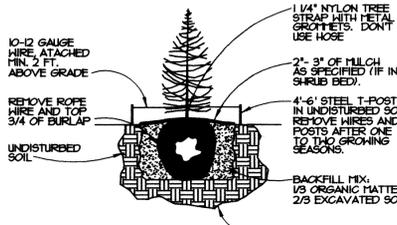
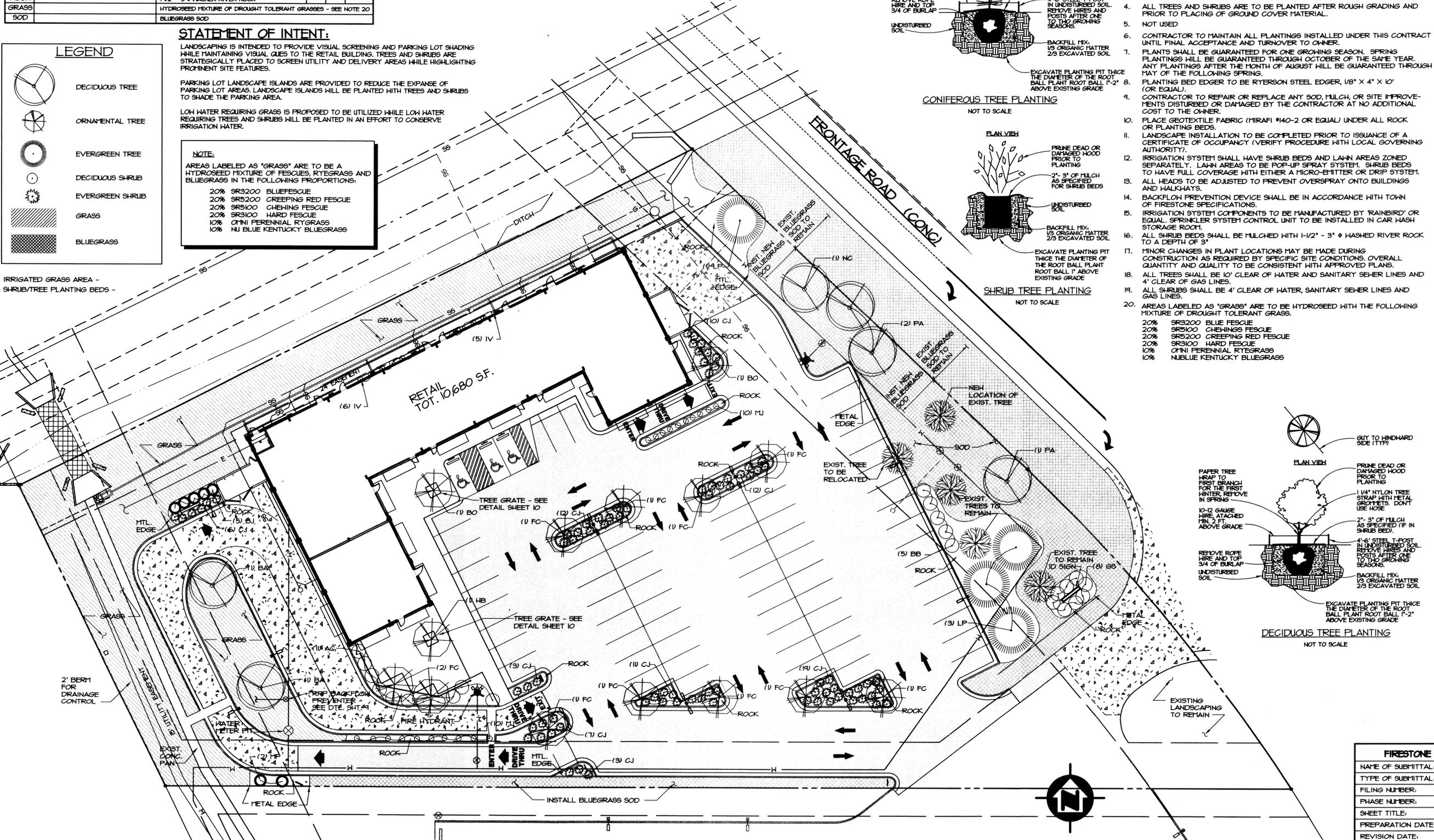
LOW WATER REQUIRING GRASS IS PROPOSED TO BE UTILIZED WHILE LOW WATER REQUIRING TREES AND SHRUBS WILL BE PLANTED IN AN EFFORT TO CONSERVE IRRIGATION WATER.

NOTE:

AREAS LABELED AS "GRASS" ARE TO BE A HYDROSEED MIXTURE OF FESCUES, RYEGRASS AND BLUEGRASS IN THE FOLLOWING PROPORTIONS:

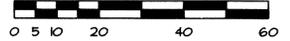
20%	SR3200	BLUEFESCUE
20%	SR3200	CREeping RED FESCUE
20%	SR3100	CHICKING FESCUE
20%	SR3100	HARD FESCUE
10%	OTNI	PERENNIAL RYEGRASS
10%	NU	BLUE KENTUCKY BLUEGRASS

IRRIGATED GRASS AREA -
 SHRUB/TREE PLANTING BEDS -



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



PREPARED BY:

 WILSON & SONS
 1449 RIVERSIDE AVENUE
 FT. COLLINS CO 80524
 TEL: 970-498-2025 FAX: 970-498-2026

LANDSCAPE PLAN	CHECKED BY:	SCALE: 1" = 20'-0"
DRAWN BY: RT	DATE: 10-21-03	SHEET NUMBER: 7 of 13
2855-03		

PREPARED FOR:
 ARM RETAIL BUILDING
 11691 I-25 FRONTAGE ROAD
 FIRESTONE, COLORADO 80504

ARM PETROLEUM
 2699 WATERDALE
 LOVELAND, COLORADO 80538

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM1 RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	LANDSCAPE PLAN
PREPARATION DATE:	10-21-03
REVISION DATE:	1-22-04
REVISION DATE:	6-15-04
REVISION DATE:	8-16-04 REV. PER DITCH CO.
REVISION DATE:	11-23-04
REVISION DATE:	12-24-04

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D.
TOWN OF FIRESTONE
WELD COUNTY
STATE OF COLORADO
SHEET 8 OF 13

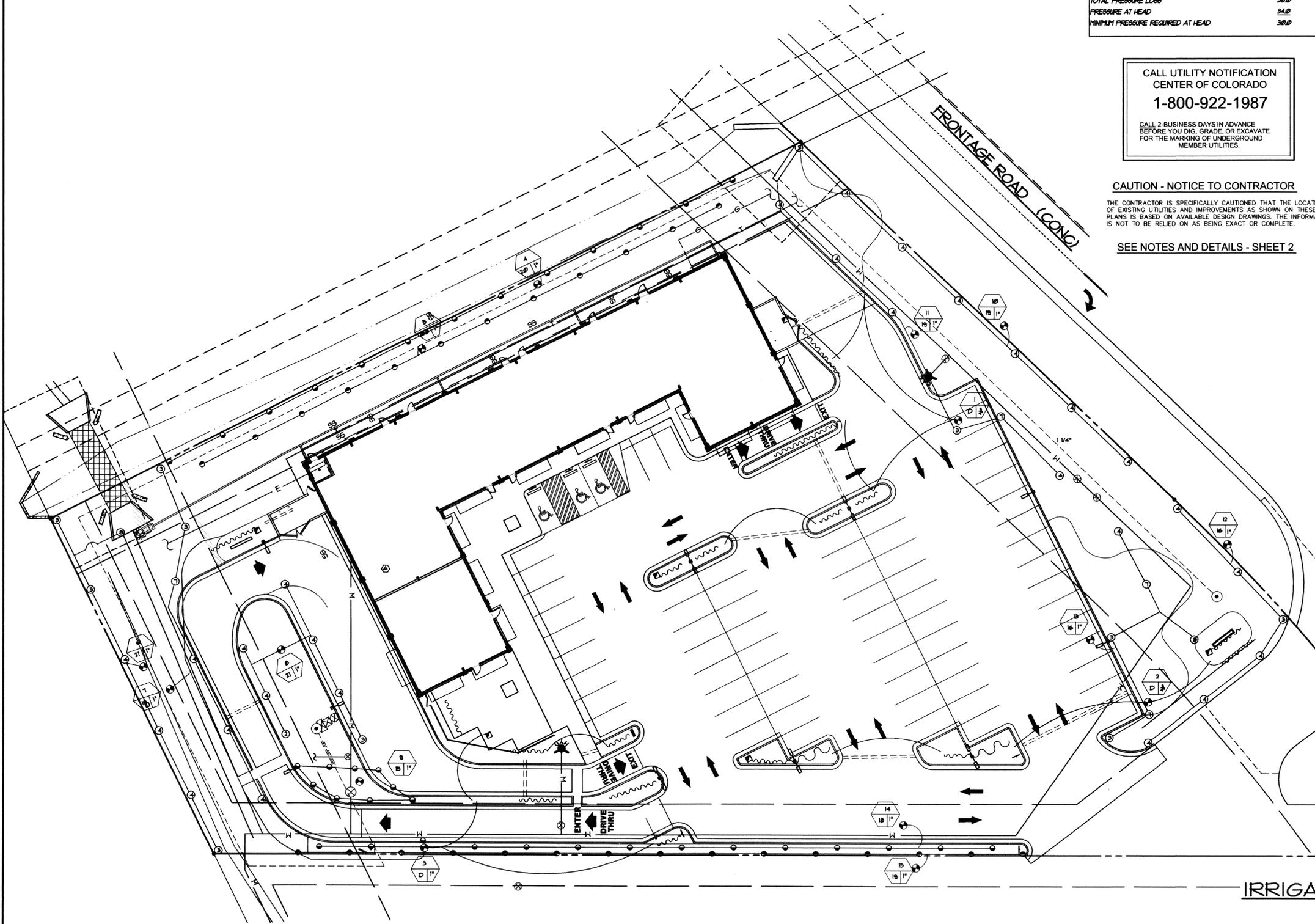
HYDRALIC CALCULATIONS				
STATIC PRESSURE AT MAIN = 90 PSI (MASTER PLAN)				
PRESSURE LOSSES (ZONE A-T)				
ELEVATION LOSS (NOT INCLUDED)				
PETER	3/4"	14'		3.1
COPPER SERVICE	1"	14'	10'	1.0
BACKFLOW PREVENTER	3/4"	14'		2.0
MAINLINE	1"	14'	750'	8.7
CONTROL VALVE	1"	14'		2.4
LATERAL LINES				5.8
TOTAL PRESSURE LOSS				36.0
PRESSURE AT HEAD				34.0
MINIMUM PRESSURE REQUIRED AT HEAD				30.0

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AND IMPROVEMENTS AS SHOWN ON THESE PLANS IS BASED ON AVAILABLE DESIGN DRAWINGS. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
SEE NOTES AND DETAILS - SHEET 2

LEGEND				
SYMBOL	MODEL	NUMBER	DESCRIPTION	DETAIL
⊗	FORD	B-II	POINT OF CONNECTION, CONNECT TO COPPER PIPE DOWNSTREAM OF WATER METER (BY OTHERS). APPROXIMATE DEPTH OF 48". SIZE AS SHOWN ON PLAN.	1
⊗	FEBCO	825YA	BACKFLOW PREVENTER WITH AGY-D DRAIN. SAME SIZE AS P.O.C.	2
⊗	RAINBIRD	ESP-LX	ELECTRONIC CONTROLLER SIZE AS SHOWN ON PLAN.	3
⊗	NIBCO	T-113	RESILIENT SEATED GATE VALVE SAME SIZE AS MAINLINE.	1
⊗	RAINBIRD	FEB	ELECTRONIC REMOTE CONTROL VALVE INSTALLED IN VALVE BOX.	5
---		CL200	SOLVENT WELD PVC MAINLINE WITH 1" MANUAL DRAIN VALVE AT ALL LOW POINTS. MINIMUM DEPTH OF COVER TO BE 18". ALL PIPE TO BE 1" IN SIZE.	-
---		POLY	80" POLYETHYLENE LATERAL LINE. MINIMUM DEPTH OF COVER TO BE 8". PIPE SIZE 3/4" UNLESS OTHERWISE SHOWN	-
---		CL160	NEW PVC SLEEVE. ALL SLEEVES TO BE 2 1/2" OR TWICE THE SIZE OF THE PIPE. SLEEVES CONTAINING NO PIPE ARE FOR CONTROL WIRES.	-
⊗	RAINBIRD	44LRC	QUICK COUPLER VALVE	8
⊗			VALVE NUMBER FLOW VALVE SIZE	
⊗	RAINBIRD	1824-SAN	MATCHED PRECIPITATION SPRAY IRRIGATION HEADS	9
⊗	HUNTER	FGM-ADJ	GEAR DRIVEN ROTOR	6
⊗	HUNTER	FGP-ADJ	GEAR DRIVEN ROTOR	6
⊗	RAINBIRD	XCZ-075	CONTROL VALVE FOR DRIP IRRIGATION. INSTALLED IN VALVE BOX WITH INLINE FILTER AND PRESSURE REGULATOR	4
⊗	RAINBIRD	XERI-TUBE	DRIP DISTRIBUTION TUBING	7
⊗	RAINBIRD	XERI-BUG	SINGLE OUTLET EMITTERS	
⊗	RAINBIRD	T8-025	TUBING STAKE	
⊗	RAINBIRD	DT-075	EMITTER TUBING	
⊗	RAINBIRD	100-CF-21	FLUSH VALVE.	

INSTALL IRRIGATION COMPONENTS PER MANUFACTURER'S RECOMMENDATIONS.



BY	REVISION	DATE	NO

IRRIGATION PLAN
CHECKED BY:
SCALE: 1" = 20'-0"
SHEET NUMBER:
DRAWING NUMBER:
DATE:
2855-03
8 of 13

ARM RETAIL BUILDING
11651 I-25 FRONTAGE ROAD
FIRESTONE, COLORADO 80504
PREPARED FOR:
ARM PETROLEUM
2653 WATERDALE
LOVELAND, COLORADO 80538

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM1 RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	IRRIGATION PLAN
PREPARATION DATE:	02-04-04
REVISION DATE:	6-15-04
REVISION DATE:	11-23-04
REVISION DATE:	
REVISION DATE:	



IRRIGATION PLAN

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D.

TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO
 SHEET 9 OF 13

IRRIGATION NOTES

- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS, AND SALES TAXES APPLICABLE TO THIS PROJECT.
- ALL TRENCHES TO BE PUDDLED AND COMPACTED TO THE SAME DENSITY AS THE UNDISTURBED ADJACENT SOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UNDERGROUND UTILITIES CAUSED BY EXECUTION OF CONTRACT.
- CONTRACTOR SHALL REFER TO AND COORDINATE IRRIGATION SYSTEM INSTALLATION WITH LANDSCAPE PLANS.
- DESIGN IS BASED ON A PRESSURE OF 65 PSI AT POINT OF CONNECTION. CONTRACTOR SHALL VERIFY PRESSURE AND NOTIFY OWNER'S REPRESENTATIVE OF VARIATION. INSTALL WATTS 2235 PRESSURE REDUCING VALVE WITH AIR RELIEF VALVE, IN VALVE BOX MARKED PRV, IF REQUIRED.
- THIS DESIGN IS DIAGRAMMATIC, ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DRAWING CLARIFICATION ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREA AS NECESSARY.
- CONTRACTOR SHALL HAND DIG TRENCHES OR BORE LINES THROUGH OR AROUND ROOTS OF EXIST. TREES TO REMAIN. AVOID ROOT ZONES WHERE POSSIBLE.
- MAINLINE AND CONTROL VALVES SHALL NOT BE INSTALLED AT LOW POINTS OF EXISTING SLOPES.
- CONTRACTOR SHALL PROVIDE AND INSTALL RAIN AND FREEZE SENSORS INSTALLED IN VANDAL RESISTANT ENCLOSURE FOR EACH CONTROLLER. INSTALL BYPASS SWITCHES FOR ALL RAIN SENSORS. SENSORS AND OTHER ACCESSORIES SHALL BE GLEN-HILTON MINI-CLIK. INSTALL IN UNOBSTRUCTED PLACE PER MANUFACTURER'S RECOMMENDATION.
- CONTRACTOR IS TO USE A BRANDING IRON TYPE OF TOOL TO IMPRINT VALVE BOX LIDS WITH NUMBERS (CHARACTERS TO BE 2" IN HEIGHT). USE NUMBERING SYSTEM AS INDICATED ON PLANS.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS WITH AN OPERATING AND MAINTENANCE MANUAL.
- INSTALL TWO EXTRA CONTROL WIRES FROM EACH CONTROLLER ALONG ENTIRE LENGTH OF IRRIGATION MAINLINE WITH VALVES OPERATED BY THAT ZONE.
- SYSTEM HAS BEEN DESIGNED WITH THE INTENT TO OPERATE ONE ZONE AT A TIME. IF OPERATOR SCHEDULES CONTROLLER(S) TO IRRIGATE MORE THAN ONE ZONE AT A TIME SYSTEM PRESSURE WILL DECREASE AND CREATE OPERATING AND COVERAGE DEFICIENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SLEEVES AND CHASES UNDER PAVING, WALKS, THROUGH WALLS, ETC. UNLESS OTHERWISE NOTED.
- PLANS ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT.
- ALL VALVE BOXES SHALL BE APETEK OR APPROVED EQUAL SEE DETAILS FOR SIZE.
- SPRINKLER CONTROL WIRE SHALL BE 14 GAUGE 'UL' LISTED AND RATED FOR DIRECT BURIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIAL WINTERIZATION AND SPRING START-UP TO ENSURE SYSTEM IS OPERATING PROPERLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HEAD TO HEAD COVERAGE IN ALL TURF AREAS AND DRIP IRRIGATION TO EACH PLANT.

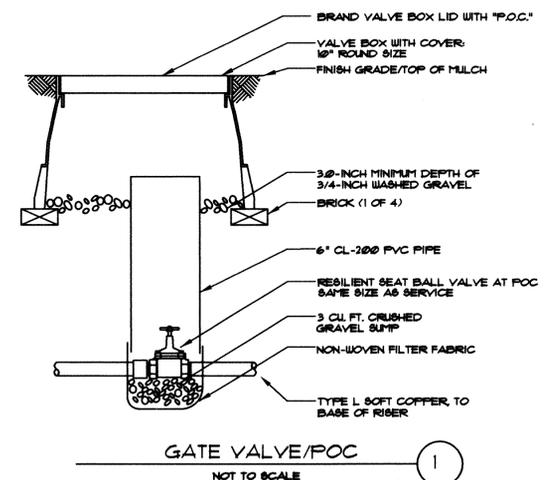
PREPARED BY:

 A R C H I T E C T S
 1449 RIVERSIDE AVENUE
 FT. COLLINS CO 80524
 TELE: 970-493-2025 FAX: 970-493-2026

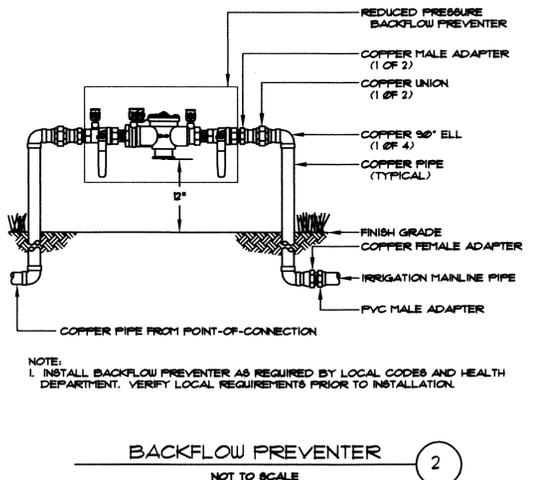
IRRIGATION DETAILS
 CHECKED BY:
 DRAIN BY:
 DATE:
 SCALE: 1" = 20'-0"
 SHEET NUMBER:
 2855-03
 9 of 13

PREPARED FOR:
 ARM PETROLEUM
 2653 WATERDALE
 LOVELAND, COLORADO 80538

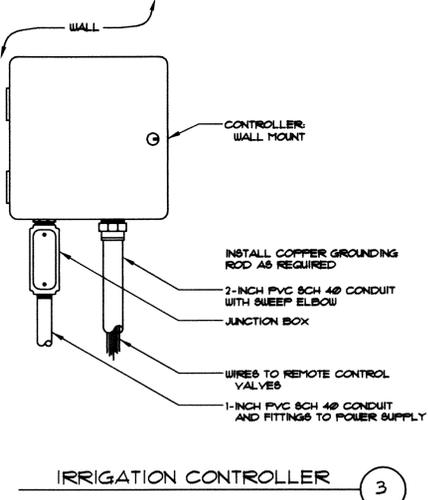
FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	IRRIGATION DETAILS
PREPARATION DATE:	02-04-04
REVISION DATE:	6-15-04
REVISION DATE:	



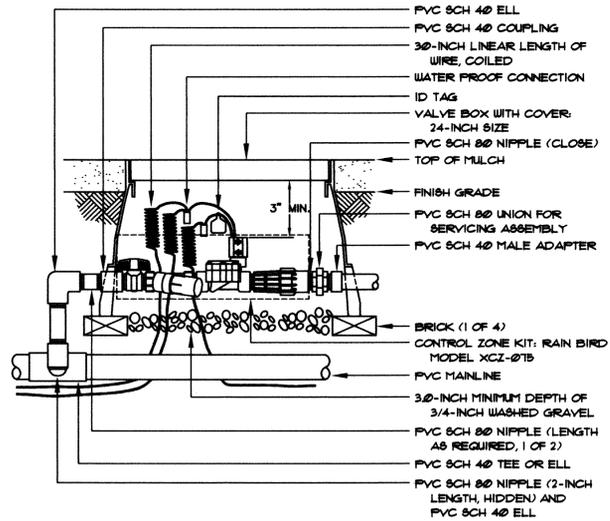
GATE VALVE/POC
 NOT TO SCALE 1



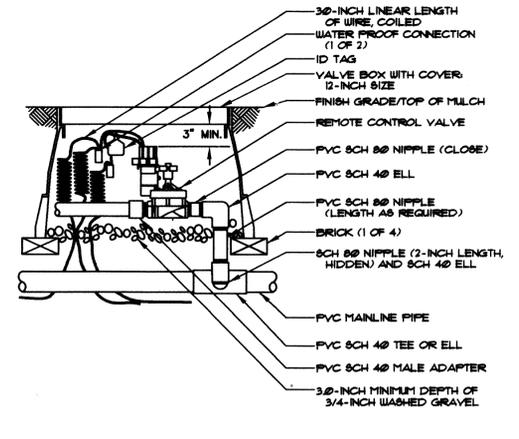
BACKFLOW PREVENTER
 NOT TO SCALE 2



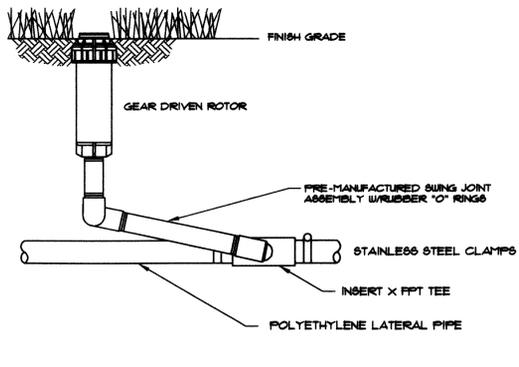
IRRIGATION CONTROLLER
 NOT TO SCALE 3



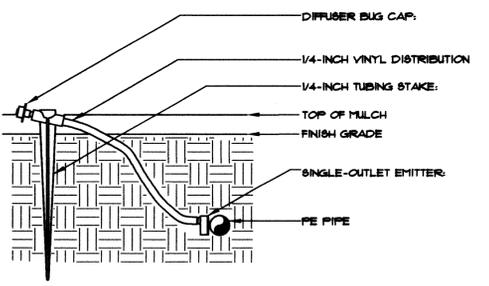
DRIP VALVE CONTROL ZONE
 NOT TO SCALE 4



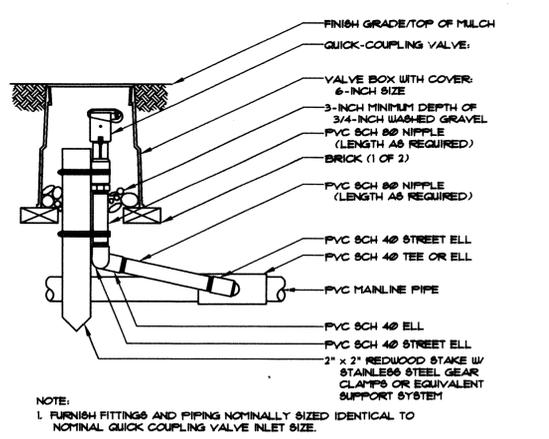
VALVE CONTROL ZONE
 NOT TO SCALE 5



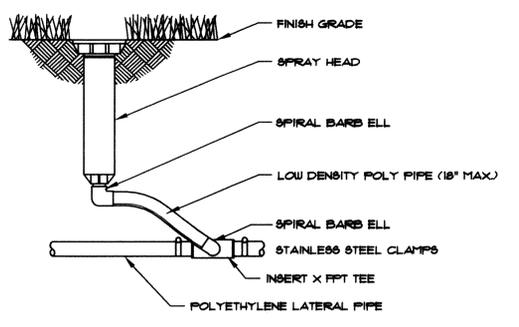
ROTARY HEAD
 NOT TO SCALE 6



EMITTER INSTALLATION
 NOT TO SCALE 7



QUICK-COUPLING VALVE
 NOT TO SCALE 8



POP-UP HEAD
 NOT TO SCALE 9

NOTES:
 1. MULCH DEPTH SHALL NOT BE INCLUDED IN DEPTHS OF BURY. ALL TUBING MUST BE BURIED BY THE INDICATED AMOUNT OF SOIL IN ADDITION TO MULCH. REFER TO PLAN SHEETS FOR REQUIRED DEPTH OF BURY FOR DRIP DISTRIBUTION PIPE. ALL CAPILLARY TUBING MUST BE BURIED BENEATH 2\"/>

NOTE:
 1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

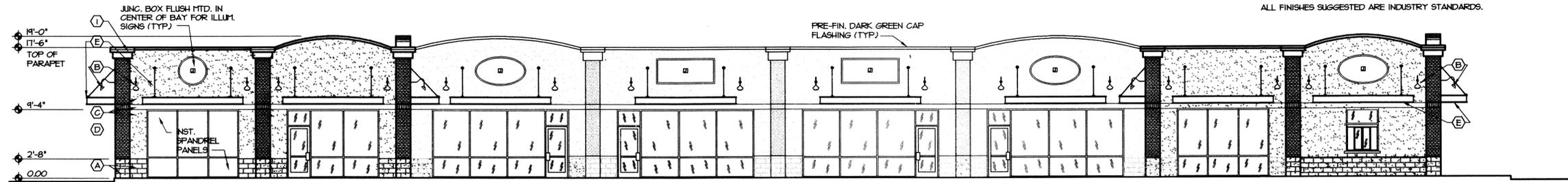
LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D

TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO
 SHEET 10 OF 13

NOTE:
 FOR SIGNAGE DIMENSIONS - SEE SHEET 13 - SIGN PROGRAM

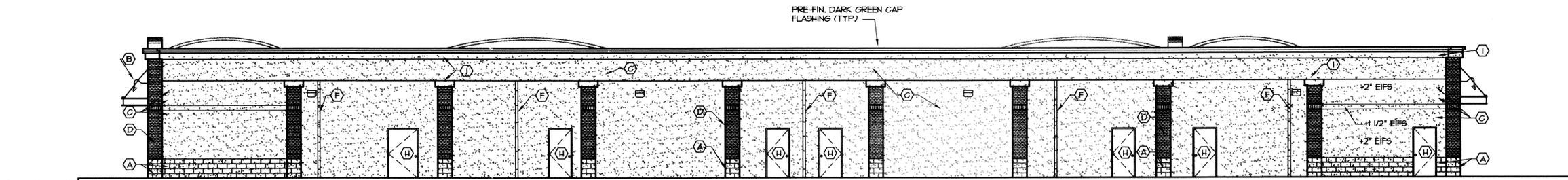
EXTERIOR FINISH SCHEDULE	
MATERIAL	FINISHES
(A) SPLIT FACE BLOCK FACING	SPLIT FACE MASONRY BLOCK - ROBINSON BRICK "APACHE BLUFF" INTEGRAL COLOR & INTEGRAL WATERPROOFING
(B) LIGHT FIXTURES	GOOSE NECK HALL LIGHTING FIXTURE
(C) E.I.F.S.	E.I.F.S. WITH SANDPEBBLE FINE FINISH COAT. DRYVIT SYSTEMS #442 COTTON
(D) BRICK	ROBINSON BRICK COMPANY - NEW TRADITIONS "CHESAPEAKE" INTEGRAL COLOR & INTEGRAL WATERPROOFING
(E) METAL AWNINGS	METAL AWNING SYSTEM (PRE-FINISHED DARK GREEN) TO BE SELF-CONTAINED FOR ATTACHMENT TO BUILDING FACING.
(F) GUTTERS & DOWNSPOUTS	GUTTERS TO BE ONE PIECE PRE-FINISHED MTL. DOWNSPOUTS TO BE OPEN FACED COLOR TO MATCH BUILDING
(G) STOREFRONT GLAZING	STOREFRONT FRAMING SYSTEM w/ PREFIN. ANODIZED DK. BRONZE ALUMINUM FINISH. GLAZING SHALL BE DOUBLE PANE THERMAL GLAZING, (1/4" LT. GREEN, LOW E THERMOPLANE GLAZING - 1/2" AIR SPACE - 1/4" CLEAR GLAZING) - TEMPERED WHERE REQUIRED.
(H) H.M. DOORS & FRAMES	H.M. DOORS & FRAMES- PAINTED EXTERIOR SEMI-GLOSS LATEX, COLOR TO MATCH E.I.F.S.
(I) E.I.F.S.	E.I.F.S. WITH SANDPEBBLE FINE FINISH COAT. DRYVIT SYSTEMS #142 SPECTRUM BROWN

GENERAL NOTES:
 1. G.C. TO VERIFY ALL FINISHES WITH OWNER PRIOR TO CONSTRUCTION. PRODUCT SUPPLIER TO SUBMIT COLOR SAMPLES OF ALL MATERIALS TO OWNER FOR APPROVAL.
 2. ALL FINISHES SUGGESTED ARE INDUSTRY STANDARDS.



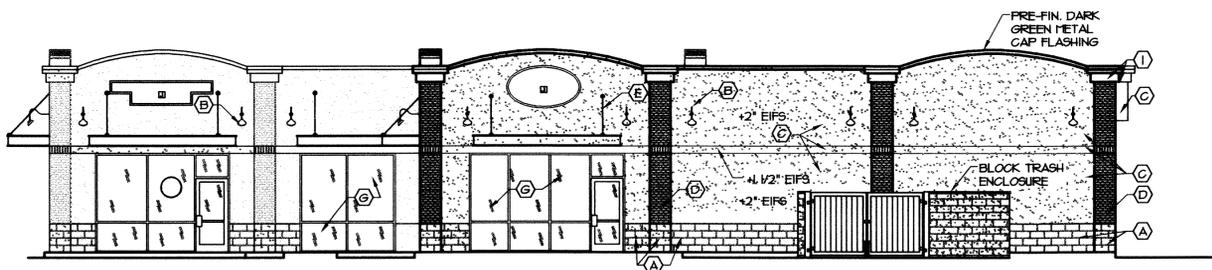
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



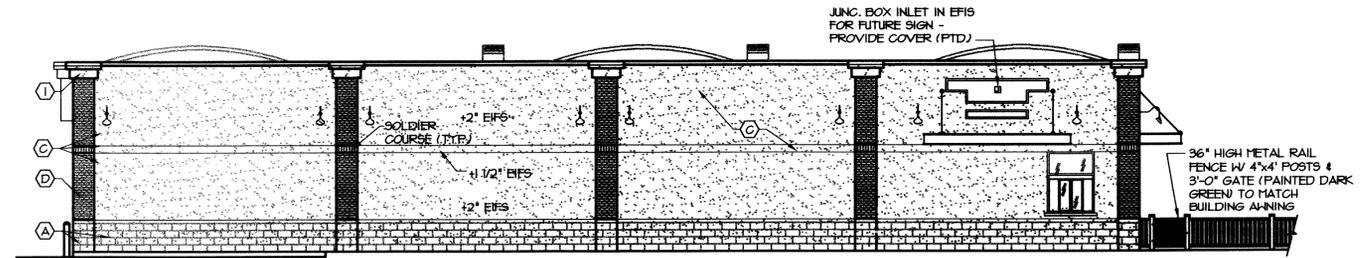
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

PREPARED BY:

 W.C. GUSTAFSON
 ARCHITECTS
 1449 RIVERSIDE AVENUE
 FT. COLLINS, CO 80524
 TELE: 970-498-2025 FAX: 970-498-2026

EXTERIOR ELEVATIONS
 CHECKED BY: RT
 DATE: 10-27-03
 SCALE: 1/4" = 1'-0"
 DRAWING NUMBER: 2855-03
 SHEET NUMBER: 10 of 13

PREPARED FOR:
 ARM RETAIL BUILDING
 1164 I-25 FRONTAGE ROAD
 FIRESTONE, COLORADO 80504
 ARM PETROLEUM
 2653 WATERDALE
 LOVELAND, COLORADO 80538

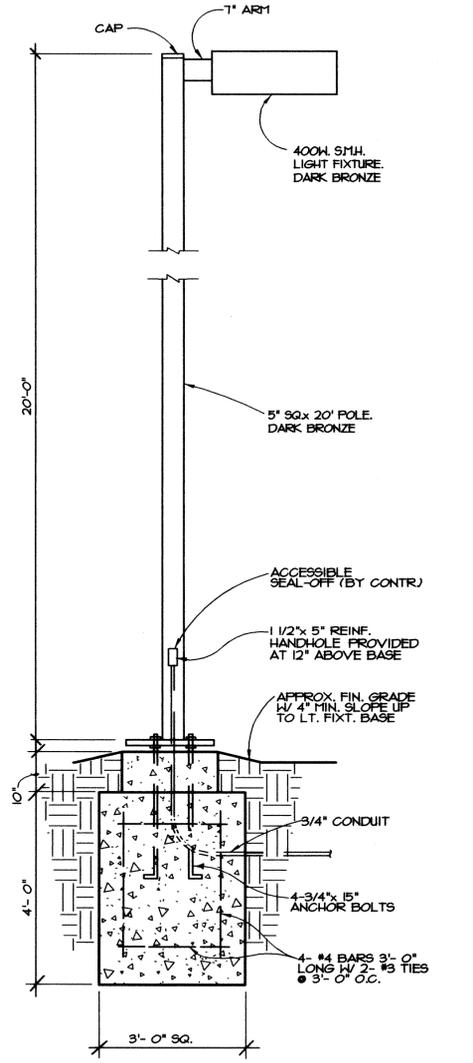
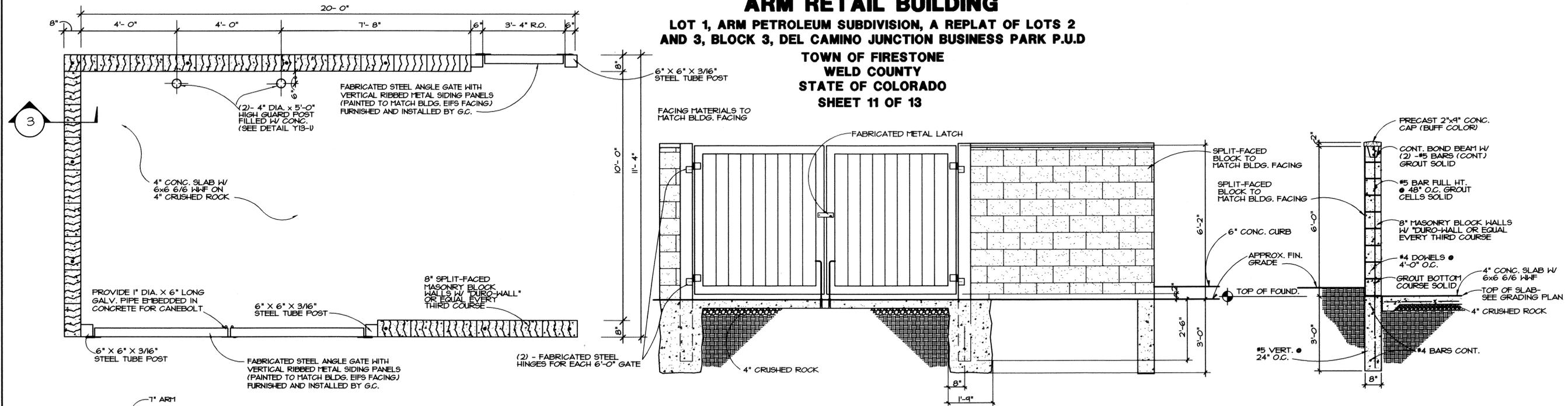
FIRESTONE INFORMATION BLOCK	
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TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	EXTERIOR ELEVATIONS
PREPARATION DATE:	10-27-03
REVISION DATE:	1-22-04
REVISION DATE:	8-18-04
REVISION DATE:	11-23-04
REVISION DATE:	12-24-04
REVISION DATE:	

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

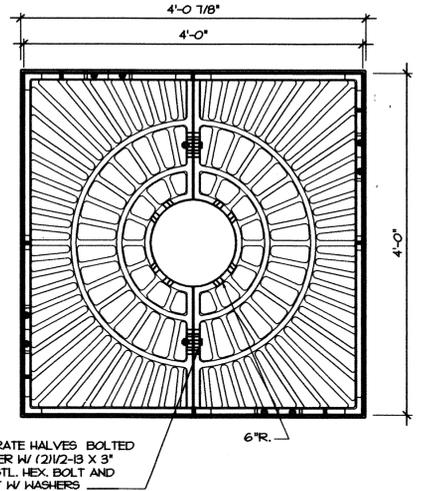
LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D

TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO
 SHEET 11 OF 13

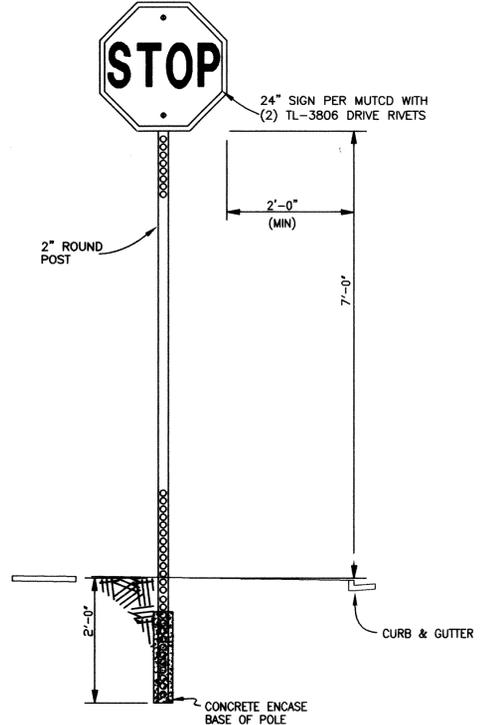


4 AREA LIGHT & POLE DETAIL
 SCALE: 3/8"=1'-0"
 (FURN. & INST. BY GEN. CONTR.)

YIA-1
 3-30-01

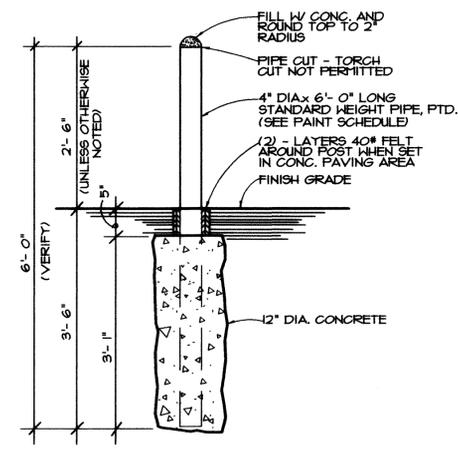


5 TREE GRATE DETAIL
 SCALE: 3/4"=1'-0"



6 SIGN POST DETAIL
 SCALE: 3/4"=1'-0"

- NOTES:
- ATTACH THE SIGN PANELS TIGHTLY TO THE POST AND USE OVERSIZED WASHERS TO KEEP THE SIGN FROM BREAKING LOOSE FROM THE POST IF HIT BY A VEHICLE.
 - SIGN PANELS SHOULD BE MOUNTED A MINIMUM OF 7 FEET ABOVE THE PAVEMENT OR GROUND.
 - SIGNS LARGER THAN 36 INCHES IN LENGTH OR WIDTH REQUIRE WIND BRACING AND SPECIAL POST DESIGN.



7 4" DIA. GUARD POST
 SCALE: 3/4"=1'-0"

- NOTE:
- SEE SITE PLAN FOR LOCATION OF 4" DIA. GUARD POST.
 - FURNISHED & INSTALLED BY GENERAL CONTRACTOR.

Y13-1
 9-12-01



8 LEFT TURN ONLY SIGN
 SCALE: NTS

- NOTES:
- SIGN SHALL BE VERTICALLY MOUNTED ON A POST AND SET A MINIMUM OF 4'-0" ABOVE FINISH GRADE TO THE BOTTOM OF THE SIGN.
 - REFER TO SITE PLAN FOR LOCATION.
 - COLORS - LEGEND AND BORDER - BLACK BACKGROUND - WHITE

PREPARED BY:

 ARCHITECTS
 1449 RIVERSIDE AVENUE
 FT. COLLINS CO. 80524
 TELE- 970-498-2025 FAX- 970-498-2026

SITE DETAILS	
DRAWN BY: RT	CHECKED BY:
DATE: 10-27-03	SCALE: AS NOTED
DRAWING NUMBER: 2855-03	SHEET NUMBER: 11 of 13

PREPARED FOR:
ARM PETROLEUM
 2689 WATERDALE
 LOVELAND, COLORADO 80538

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM1 RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	SITE DETAILS
PREPARATION DATE:	10-27-03
REVISION DATE:	1-22-04
REVISION DATE:	11-23-04
REVISION DATE:	
REVISION DATE:	

3284732 05/10/2005 01:32P Weld County, CO
12 of 13 R 131.00 D 0.00 Steve Moreno Clerk & Recorder

FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

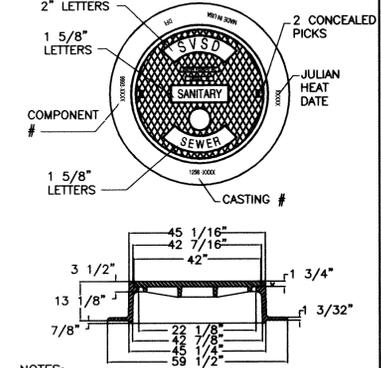
LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D.

TOWN OF FIRESTONE
WELD COUNTY
STATE OF COLORADO

GENERAL METER NOTES
SHEET 12 OF 13

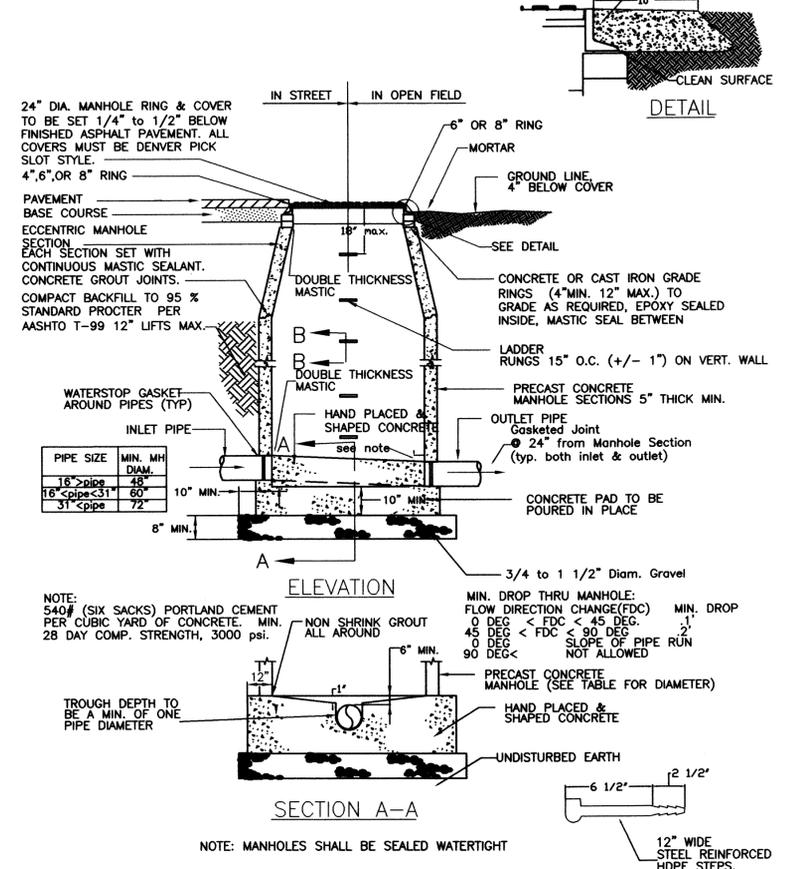
- LOCATION OF THE METER TO BE ESTABLISHED BY THE DEVELOPMENT ENGINEER.
- ALL SETTINGS MUST BE INSPECTED BY THE TOWN'S REPRESENTATIVE.
- IF THE STREET OR GROUND IS NOT TO OFFICIAL GRADE AT THE TIME OF INSTALLATION OF THE METER, THE OWNER MUST RAISE OR LOWER THE METER VAULT WHEN THE FINAL GRADE IS ESTABLISHED.
- LEADED JOINTS AND GALVANIZED PIPING SHALL NOT BE ALLOWED INSIDE THE METER VAULTS.
- A BYPASS IS TO BE INSTALLED ON 1 1/2" AND LARGER METERS UNLESS OTHERWISE SPECIFIED.
- THE SERVICE LINE THROUGH AND ON BOTH SIDES OF THE METER PIT MUST BE OF THE SAME MATERIAL.
- NO CONNECTIONS SHALL BE MADE IN THE METER PIT. SPRINKLER CONNECTIONS MUST BE MADE MORE THAN FIVE (5) FEET FROM THE METER PIT ON THE DOWNSTREAM SIDE.
- GATE VALVES:
 - ALL GATE VALVES UNDER 3" FOR USE W/COPPER PIPE SHALL BE ALL BRONZE, W/NON-RISING STEMS AND SOLID WEDGE DISC, MANUFACTURED IN ACCORDANCE WITH A.S.T.M. SPEC. B62 AND FEDERAL SPEC. W.W.-V-54 CLASS A, 125PSI W.S.P., 200PSI W.O.G. OR CURB STOPS IN ACCORDANCE WITH AWWA C800 AND MS-23 OF THE MATERIAL SPECIFICATIONS.
 - ALL GATE VALVES 3" AND LARGER SHALL CONFORM WITH GOLDEN'S STANDARD SPECIFICATIONS.
- ALL DRESSER (OR APPROVED EQUAL) COUPLINGS SHALL HAVE THE PIPE STOP REMOVED.

ST. VRAIN SANITATION DISTRICT MANHOLE RING AND COVER

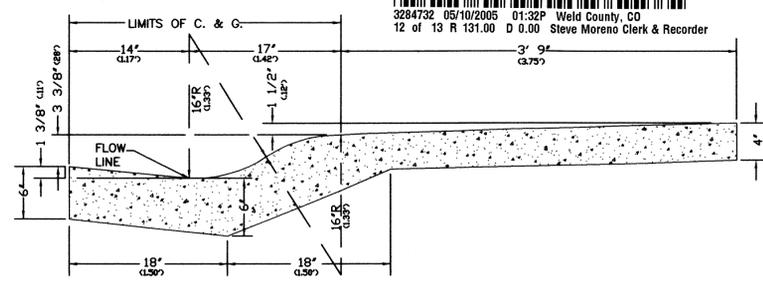


NOTES:
RING AND COVER SHALL BE IRON (AS MANUFACTURED FOR CURRENT AWWA STANDARD)
COVER SHALL BE BOLTED, WATER RESISTANT IF LOCATED IN 100 YEAR FLOOD PLAIN, BACK YARDS, OPEN SPACE AND/OR DITCHES.
SANITARY SEWER MANHOLE COVERS SHALL BE NONPERFORATED WITH "SVSD SANITARY SEWER" FORGED ON THE TOP OF THE LID AS SHOWN ABOVE.
ALL MANHOLES SHALL BE A DENVER PICK SLOT STYLE, MODEL NUMBER 1258, FURNISHED WITH MACHINED HORIZONTAL BEARING SURFACES.

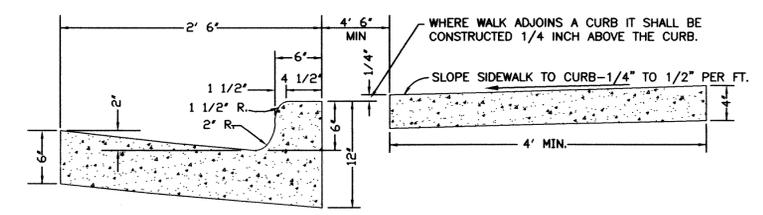
ST. VRAIN SANITATION DISTRICT SAMPLING MANHOLE



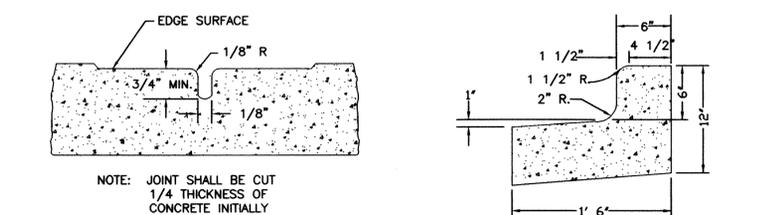
NOTE: MANHOLES SHALL BE SEALED WATERTIGHT



DRIVE-OVER CURB, GUTTER AND SIDEWALK
N.T.S.



VERTICAL 6 INCH CURB, GUTTER AND SIDEWALK
N.T.S.



DUMMY JOINT FOR WALKS
N.T.S.

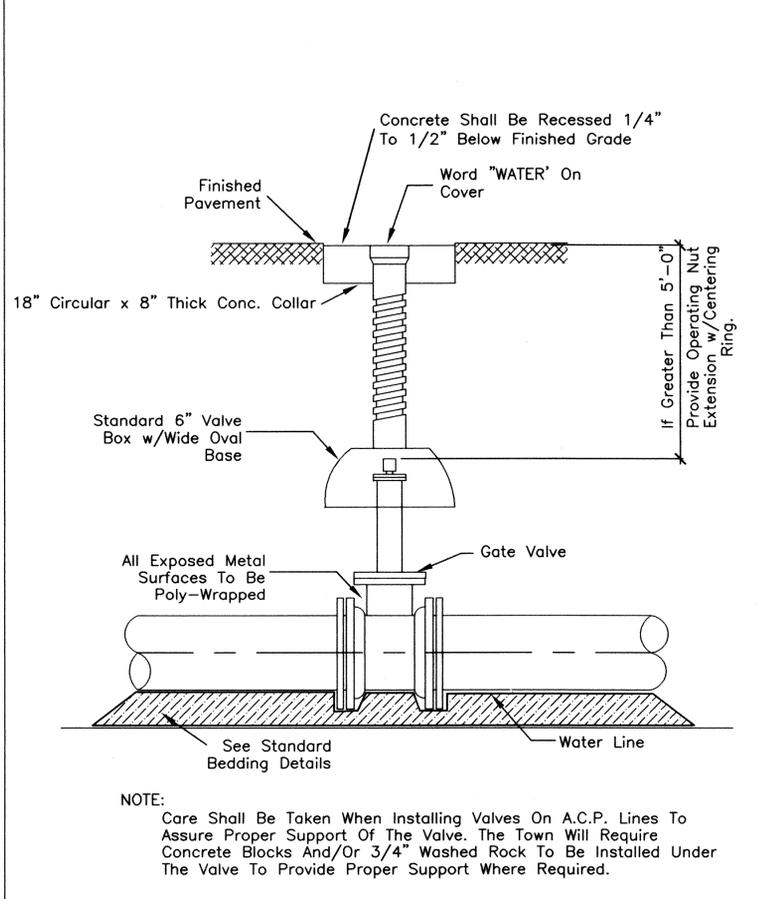


OUTFALL CURB AND GUTTER
N.T.S.

CURB, GUTTER & SIDEWALK DETAIL
SCALE: NTS 3

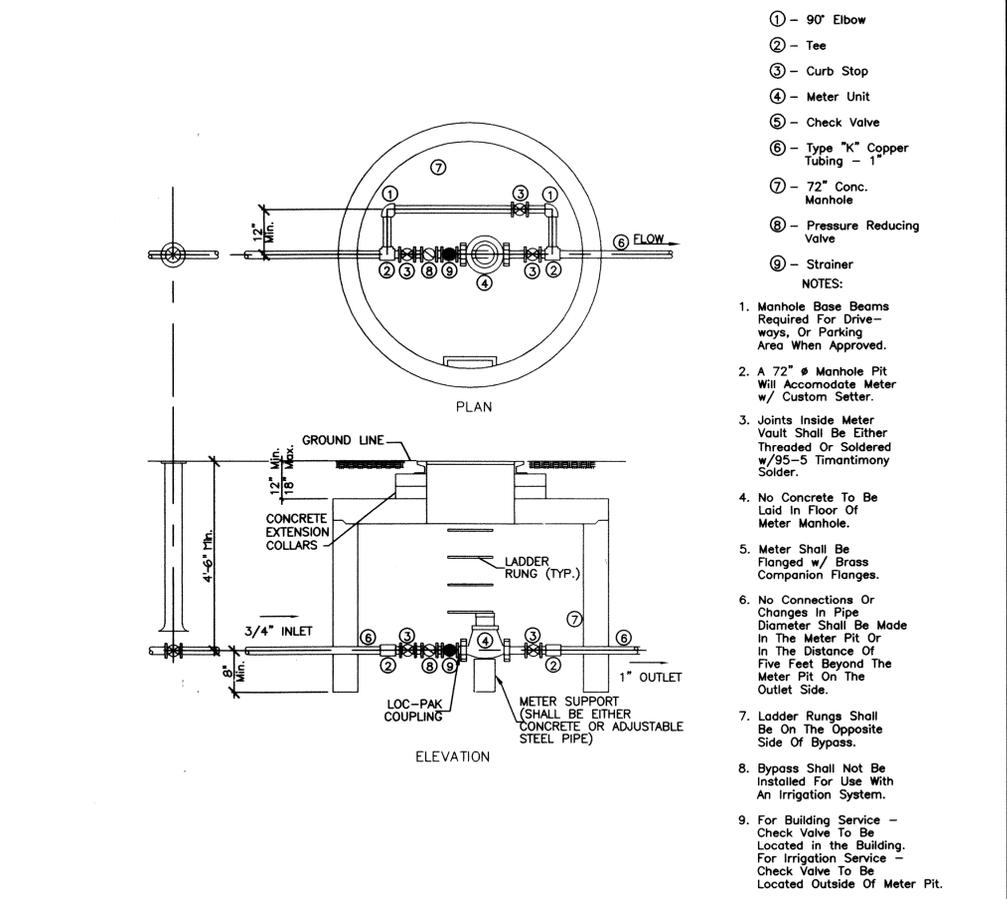
METER NOTES
SCALE: NTS 4

MANHOLE
SCALE: NTS



NOTE:
Care Shall Be Taken When Installing Valves On A.C.P. Lines To Assure Proper Support Of The Valve. The Town Will Require Concrete Blocks And/Or 3/4\"/>

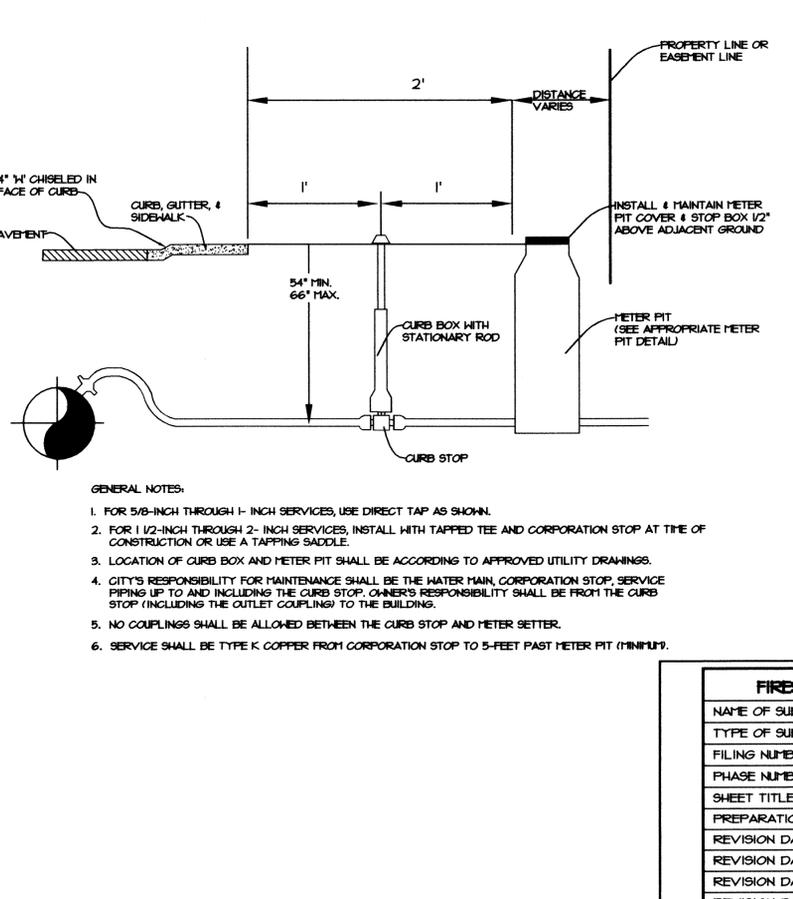
GATE VALVE DETAIL
SCALE: NTS 6



- 90° Elbow
- Tee
- Curb Stop
- Meter Unit
- Check Valve
- Type "K" Copper Tubing - 1"
- 72" Conc. Manhole
- Pressure Reducing Valve
- Strainer

- NOTES:
- Manhole Base Beams Required For Drive-ways, Or Parking Area When Approved.
 - A 72" Manhole Pit Will Accommodate Meter w/ Custom Setter.
 - Joints Inside Meter Vault Shall Be Either Threaded Or Soldered w/95-5 Timantimony Solder.
 - No Concrete To Be Laid In Floor Of Meter Manhole.
 - Meter Shall Be Flanged w/ Brass Companion Flanges.
 - No Connections Or Changes In Pipe Diameter Shall Be Made In The Meter Pit Or In The Distance Of Five Feet Beyond The Meter Pit On The Outlet Side.
 - Ladder Rungs Shall Be On The Opposite Side Of Bypass.
 - Bypass Shall Not Be Installed For Use With An Irrigation System.
 - For Building Service - Check Valve To Be Located In The Building. For Irrigation Service - Check Valve To Be Located Outside Of Meter Pit.

METER DETAIL
SCALE: NTS 5



- GENERAL NOTES:
- FOR 5/8-INCH THROUGH 1-INCH SERVICES, USE DIRECT TAP AS SHOWN.
 - FOR 1 1/2-INCH THROUGH 2-INCH SERVICES, INSTALL WITH TAPPED TEE AND CORPORATION STOP AT THE OF CONSTRUCTION OR USE A TAPPING SADDLE.
 - LOCATION OF CURB BOX AND METER PIT SHALL BE ACCORDING TO APPROVED UTILITY DRAWINGS.
 - CITY'S RESPONSIBILITY FOR MAINTENANCE SHALL BE THE WATER MAIN, CORPORATION STOP, SERVICE PIPING UP TO AND INCLUDING THE CURB STOP. OWNER'S RESPONSIBILITY SHALL BE FROM THE CURB STOP (INCLUDING THE OUTLET COUPLING) TO THE BUILDING.
 - NO COUPLINGS SHALL BE ALLOWED BETWEEN THE CURB STOP AND METER SETTER.
 - SERVICE SHALL BE TYPE K COPPER FROM CORPORATION STOP TO 5-FEET PAST METER PIT (MINIMUM).

WATER SERVICE DETAIL
SCALE: NTS

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SITE DETAILS
DRAWN BY: DK
CHECKED BY:
DATE: 11-18-03
SCALE: AS NOTED
SHEET NUMBER:
2855-03
12 of 13

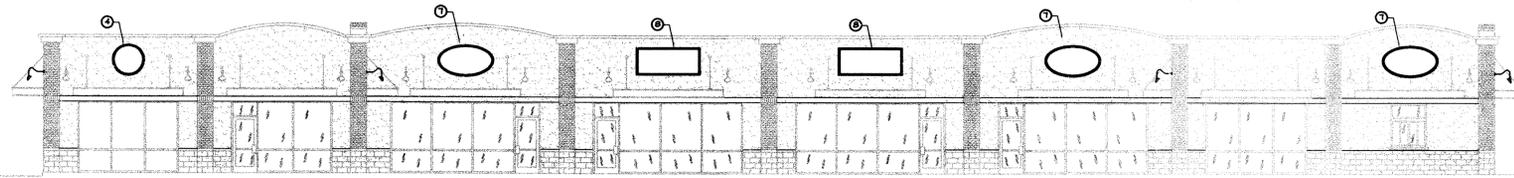
ARM RETAIL BUILDING
1169 I-25 FRONTAGE ROAD
FIRESTONE, COLORADO 80504
PREPARED FOR:
ARM PETROLEUM
2655 WATERDALE
LOVELAND, COLORADO 80538

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	ARM RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILE NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	SITE DETAILS
PREPARATION DATE:	09/05/03
REVISION DATE:	10/08/03 REV. PER CITY COMMENTS
REVISION DATE:	6-15-04
REVISION DATE:	11-23-04
REVISION DATE:	
REVISION DATE:	

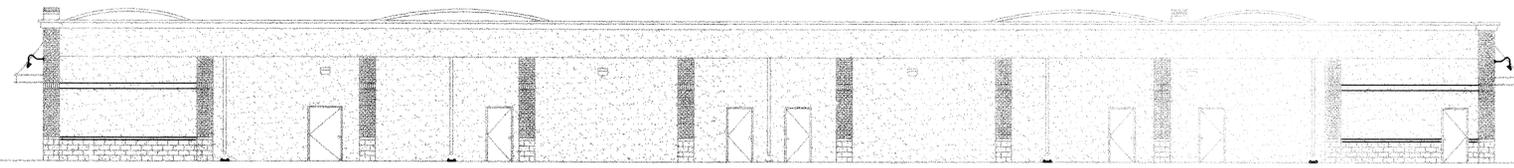
FINAL DEVELOPMENT PLAN

ARM RETAIL BUILDING

LOT 1, ARM PETROLEUM SUBDIVISION, A REPLAT OF LOTS 2
 AND 3, BLOCK 3, DEL CAMINO JUNCTION BUSINESS PARK P.U.D
 TOWN OF FIRESTONE
 WELD COUNTY
 STATE OF COLORADO
 SHEET 13 OF 13



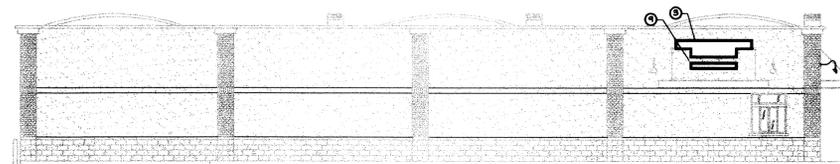
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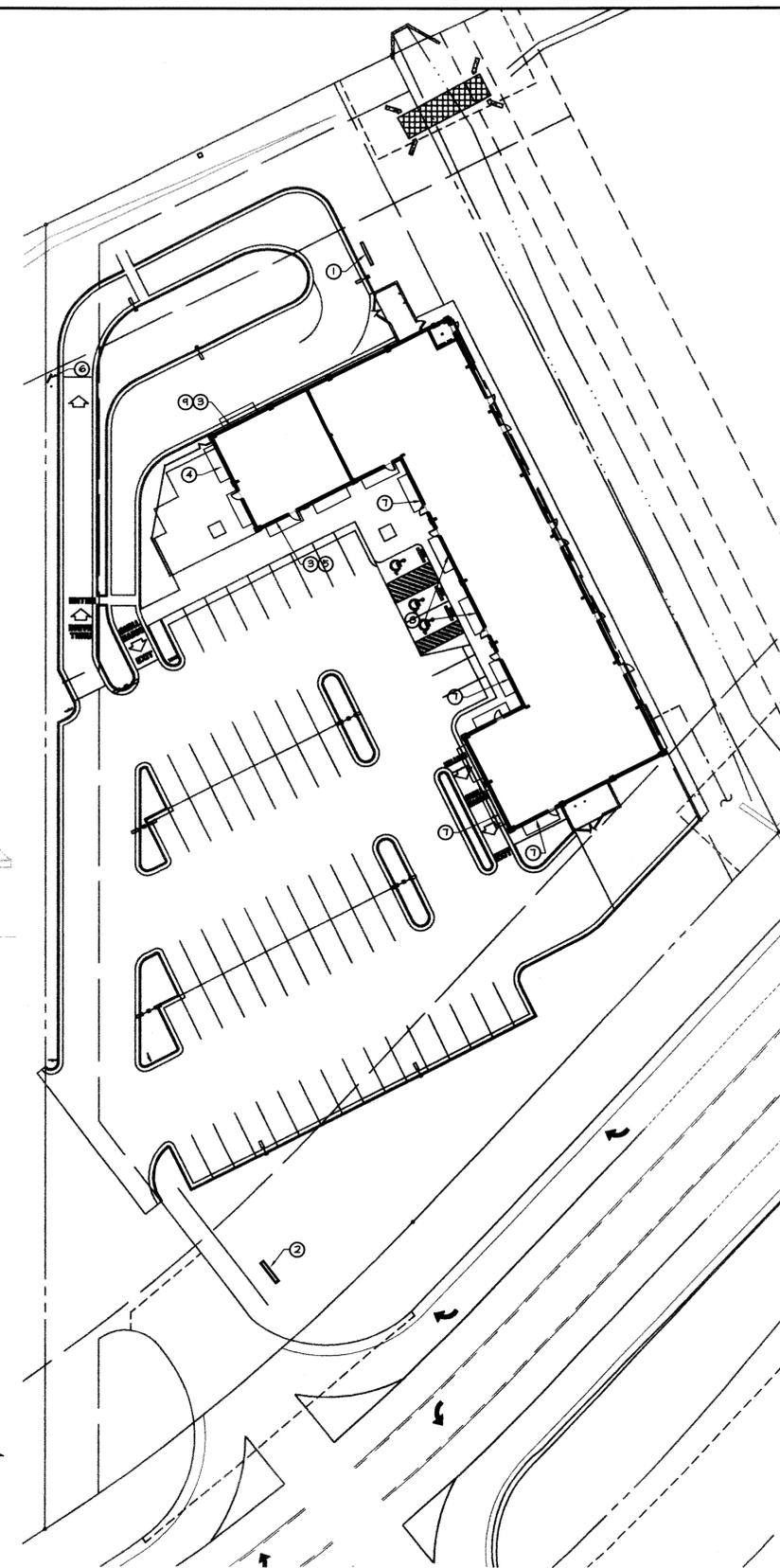
NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



EAST ELEVATION
 SCALE: 3/32" = 1'-0"

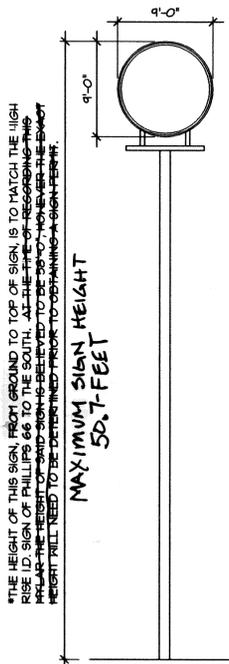


WEST ELEVATION
 SCALE: 3/32" = 1'-0"

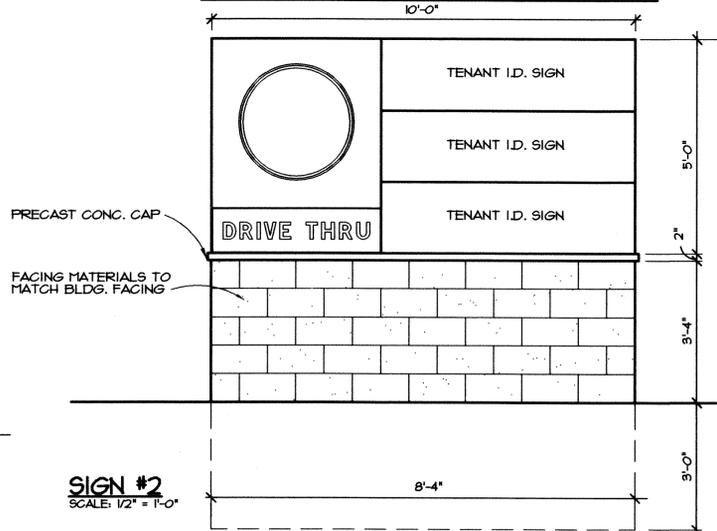


KEY	DESCRIPTION	SIZE	QTY.	* SIDES**	TOTAL
①	HIGH RISE ID/PRICE SIGN	63.6 SF.	1	2	127.2 SF.
②	MONUMENT SIGN 5'x10' ID/PRICE SIGN	50 SF.	1	2	100 SF.
③	ILLUMINATED SIGN MOUNTED ON STORE FASCIA	17 SF.	2	1	34 SF.
④	ILLUMINATED SIGN MOUNTED ON STORE FASCIA	12.6 SF.	1	1	12.6 SF.
⑤	ILLUMINATED SIGN MOUNTED ON STORE FASCIA	31 SF.	1	1	31 SF.
⑥	ILLUMINATED SIGN MOUNTED ON STORE FASCIA	36.5 SF.	1	1	36.5 SF.
⑦	FUTURE TENANT SIGN	22 SF.	4	1	88 SF.
⑧	FUTURE TENANT SIGN	28 SF.	2	1	56 SF.
⑨	ILLUMINATED SIGN MOUNTED ON STORE FASCIA	5 SF.	1	1	5 SF.
TOTALS:					464.4 SF.

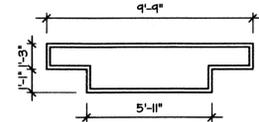
NOTE: SEE EXTERIOR ELEVATIONS FOR ADDITIONAL SIGNAGE DETAILS
 **INDICATES SINGLE SIDED OR DOUBLE SIDED SIGN



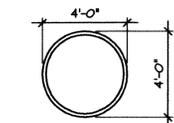
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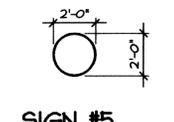
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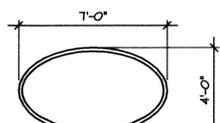
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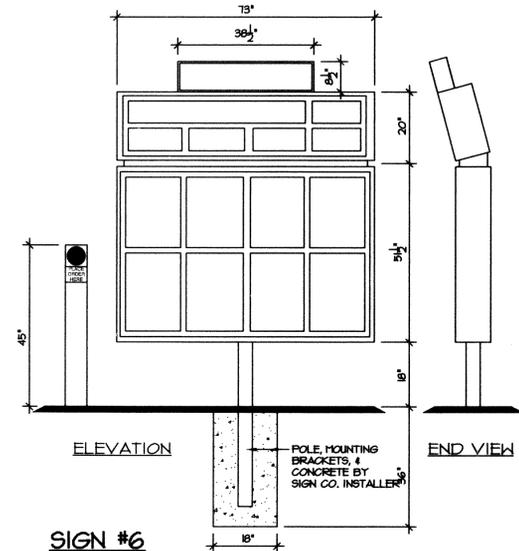
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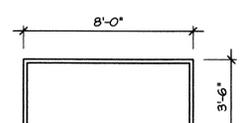
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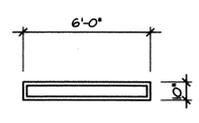
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SIGN #6
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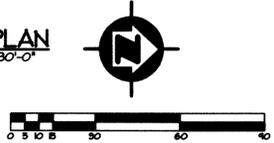


SIGN #8
 SCALE: 1/4" = 1'-0"



SIGN #9
 SCALE: 1/4" = 1'-0"

SITE PLAN
 SCALE: 1" = 30'-0"



PREPARED BY:
WICKLIFF GUSTAFSON
 ARCHITECTS
 1449 RIVERSIDE AVENUE
 FT. COLLINS CO 80524
 TEL: 970-498-2025 FAX: 970-498-2026

SIGN PROGRAM
 DRAWN BY: DK
 CHECKED BY:
 DATE: 11-18-03
 SCALE: AS NOTED
 DRAWING NUMBER:
 SHEET NUMBER:
2855-03
3 of 13

PREPARED FOR:
ARM PETROLEUM
 2653 WATERDALE
 LOVELAND, COLORADO 80538

FIRESTONE INFORMATION BLOCK	
NAME OF SUBMITTAL:	RETAIL BUILDING
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	1
SHEET TITLE:	SIGN PROGRAM
PREPARATION DATE:	10-27-03
REVISION DATE:	1-22-04
REVISION DATE:	6-15-04
REVISION DATE:	11-23-04
REVISION DATE:	
REVISION DATE:	
SHEET 13 OF 13	